

31 July 2024

### **Official information Proactive Release: Dog Pound**

On 29 May 2023, the Council opened a purpose-built, self-sustained pound located outside Featherston.

The new pound replaced a facility in Johnston St, Featherston, which had been in use for over 20 years, and did not comply with the required animal welfare code. It could also no longer stay at its location and there was no other pound within a reasonable driving distance. The district required a new pound.

The new pound:

- Exceeds the Ministry of Primary Industries' animal welfare standards
- Is an innovative use of containers
- Is off the grid – uses solar as the main power source, water storage tank and a septic system
- Has the highest health standards with temperature control, easy to wash materials and good disease management
- Is a moveable structure, if the pound needs to be relocated
- Has individual external exercise runs and two large exercise yards
- Is fully fenced with high security features.

As a territorial authority, we are required to operate a dog pound that provides proper custody and care of impounded dogs. It needs to be economically and animal health-wise sound, and functionally as well as aesthetically pleasing.

The design is scalable, safe, secure, easy to maintain and comfortable. Housing up to four dogs, the pound uses solar energy as its main power source, collects rainwater to fill the water tanks, and designed to fit within the environs. This ensures a small carbon footprint and an off-the-grid, sustainable structure.

A robust procurement process was followed; quotes were very time-sensitive, and fluid especially given the current circumstances faced by the construction industry and the wider inflationary pressures. The projected costs were estimated to be \$415,000 excluding contingency, or \$456,500 with a 10% contingency included. This amount is just over half of the cheapest option floated as part of a cross-region shared-service.

As part of this proactive release, SWDC have compiled the following information regarding the development, specifications, design and expenditure in relation to the Dog Pound.

Some parts of this proactive information release have been withheld in line with the purpose and principles of the Local Government Official Information and Meetings Act 1987 (LGOIMA).

The key reasons for withholding the information under the LGOIMA include:

What is being withheld	Clause	Clause detail
Natural person information	7(2)(a)	To protect the privacy of natural persons, including that of deceased natural persons.
Financial and commercially sensitive information	7(2)(b)(ii)	To protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information.
IT safety and security	7(2)(j)	to prevent the disclosure or use of official information for improper gain or improper advantage.

Please find an attached document which includes a list of all documents being released and any specific grounds for withholding information.

Where information has been withheld in accordance with section 7 of the LGOIMA, there are no countervailing considerations which render it desirable, in the public interest, to make that information available (refer to section 9 of the LGOIMA).

Furthermore, this proactive release also includes previous LGOIMA responses from SWDC to requestors about the Dog Pound since the build was completed, which includes some financial information.

For more information, please visit:

<https://swdc.govt.nz/news/new-featherston-dog-pound-opened/>

<https://swdc.govt.nz/other/councils-dog-pound-wins-the-ignz-superidea-award/>

If you have any questions in relation to this proactive release, please contact [lgoima@swdc.govt.nz](mailto:lgoima@swdc.govt.nz)

Rob Thomas

Manager, Stakeholder Relationships

Dog Pound Proactive Release – Withholding reasons – July 2024

Section	Included in pack	Page number	Info withheld	Reason for withholding	Other notes/comments
<b>Specs and plans</b>					
Wairarapa Maps	Y	2-4	N/A		
SMC Design Sections and elevation	Y	5	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
SMC Floor plan and elevations	Y	6	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
SMC foundation plan	Y	7	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
Wairarapa Maps	Y	8	N/A		
Wairarapa Maps	Y	9	N/A		
PCD Concrete foundation assembly	Y	10	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
Lumina Solar proposal	N	11-20	Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Components and quotes (pages 8-12 of proposal withheld) to prevent harm to commercial position of business
		12-17	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
Estello specs	Y	21	N/A		
Pholum specs	Y	22	N/A		
Emails	Y	23	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
			Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Information that may potentially harm commercial position of business
Emails	Y	24	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
Emails	Y	25	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
Emails	Y	26	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
Emails	Y	27	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
Quote	N	N/A	Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Quotes/progress claims are withheld due to breakdown of information that may potentially harm commercial position of business.
Dog plan drawing	Y		N/A		

Dog Pound Proactive Release – Withholding reasons – July 2024

Section	Included in pack	Page number	Info withheld	Reason for withholding	Other notes/comments
Email with drawing	Y	29-30	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	
Email and drawings	Y	31-33	N/A		
Photographs	Y	34	N/A		
Wairarapa Maps	Y	35	N/A		
Wairarapa Maps	Y	36	N/A		
Email	Y	37	Personal information	7(2)(a) to protect the privacy of natural persons, including that of deceased natural persons	Names, employee details and contact details
Email	Y	37	Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	
IT specifications, maps	N		Whole document: IT information/infrastructure	7(2)(j) to prevent the disclosure or use of official information for improper gain or improper advantage	IT safety and security
<b>Certificates, consent and compliance</b>					
Record of inspection electrical work	Y	39	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
SMC Design Studio Design	Y	40-91	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
			Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Producer statement - insurance info (\$ figure).
Building consent letter and map	Y	92-93	Personal information	7(2)(a) Protect privacy of natural persons	
Cotter & Stevens Electrical Certificate	Y	94	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
MPI guidelines	Y	95	N/A		
Internal SWDC email regarding RC application	Y	96	N/A		
Building consent letter	Y	97	Personal information	7(2)(a) Protect privacy of natural persons	
Animal Facility Proposal	Y	98-102	N/A		(noted: Pages missing - not double sided copy. Unable to locate. Original documents missing as well - document sustained some damage whilst being copied due to misfeed)
Application for resource consent	Y	103	N/A		
Application for a discretionary exemption	Y	104-108	N/A		
Application for building consent	Y	109-122	N/A		
Resource Consent letter	Y	123	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
<b>Contracts, Tenders, procurement</b>					



Dog Pound Proactive Release – Withholding reasons – July 2024

Section	Included in pack	Page number	Info withheld	Reason for withholding	Other notes/comments
Contract	Y	125-132	Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Contains figures for quotes
Timeline	Y	133-134	Personal information	7(2)(a) Protect privacy of natural persons	Prevents disclosure of personal information
GEO Ltd and Request for Proposal V2	Y	135-167	Personal information	7(2)(a) Protect privacy of natural persons	Prevents disclosure of personal information
			Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Handwritten scores on paper that relate to rankings
GEO Ltd and Request for Proposal V1	Y	168-186	Personal information	7(2)(a) Protect privacy of natural persons	Prevents disclosure of personal information
			Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Information that may potentially harm commercial position of business
Therian Registration of interest	Y	187-196	Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Information that may potentially harm commercial position of business
			Personal information	7(2)(a) Protect privacy of natural persons	Prevents disclosure of personal information
Certificate of currency docs	Y	194-197	Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Handwritten scores on paper that relate to rankings
Boxman company statement and Record of Interest V1	Y	198-214	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
			Personal information	7(2)(a) Protect privacy of natural persons	Handwritten note - out of scope
			Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Information that may potentially harm commercial position of business
			Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Insurance policy details.

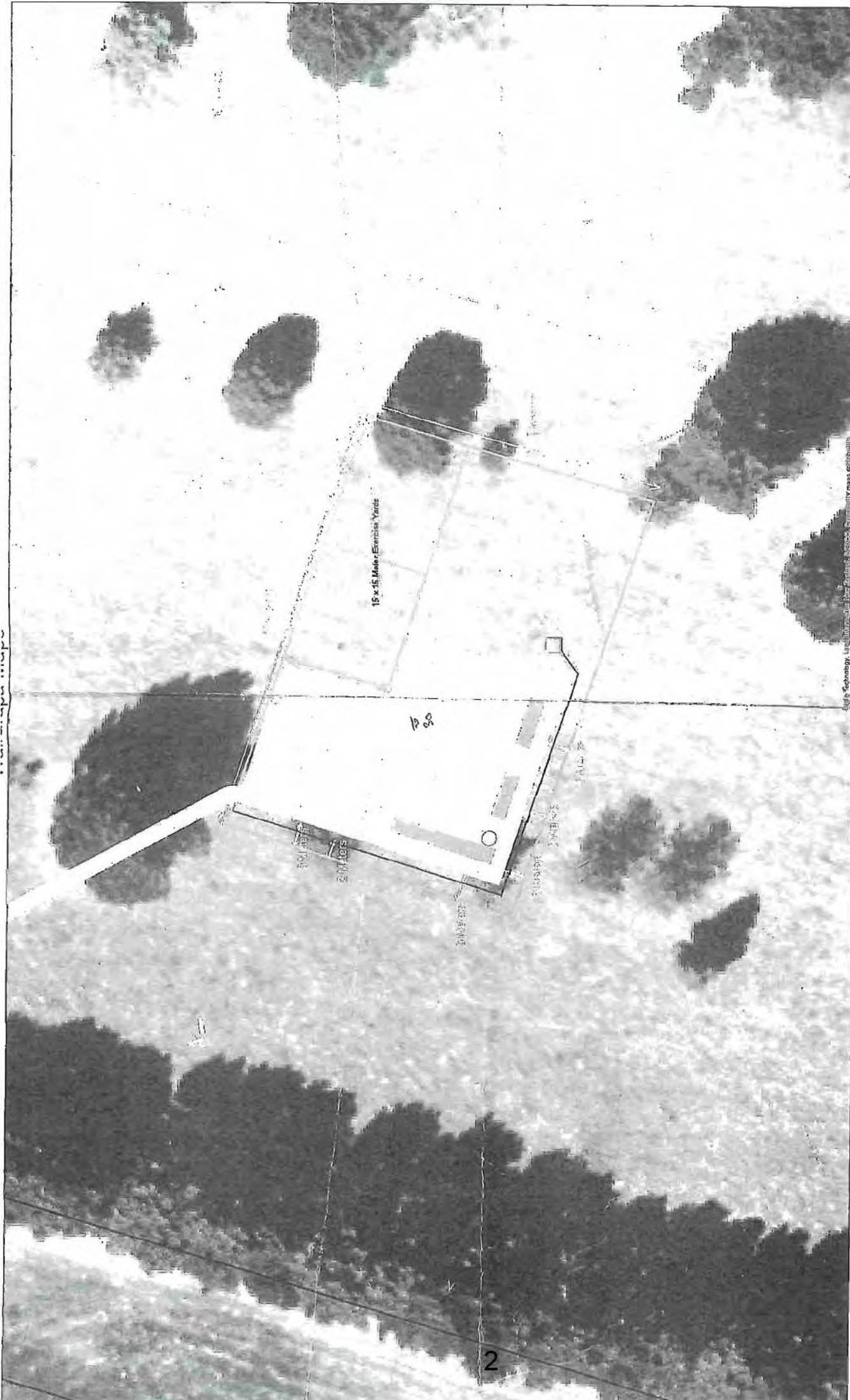
Dog Pound Proactive Release – Withholding reasons – July 2024

Section	Included in pack	Page number	Info withheld	Reason for withholding	Other notes/comments
Procurement Memo	Y	216-217	N/A		
Drawings designs numbered 5,7,8	Y	218-220	N/A		
<b>Emails</b>					
Email and progress claim	Y	222	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
			Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Quotes/progress claims are withheld due to breakdown of information that may potentially harm commercial position of business.
Email - no quote attached	Y	223	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
Email for approval	Y	224	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
			Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Quotes/progress claims are withheld due to breakdown of information that may potentially harm commercial position of business.
Email with progress claim 4	Y	225	Personal information	7(2)(a) Protect privacy of natural persons	Prevents disclosure of personal information
Progress claim 2	N	N/A	Whole document withheld - Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Quotes/progress claims are withheld due to breakdown of information that may potentially harm commercial position of business.
Pope and Gray document	Y	226	N/A		
Quote Ramps	N	N/A	Whole document withheld - Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Quotes/progress claims are withheld due to breakdown of information that may potentially harm commercial position of business.
Email re lease	Y	227	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
Email re Pound layout and map	Y	228-231	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
Email pound lighting	Y	232-237	Personal information	7(2)(a) Protect privacy of natural persons	Names, employee details and contact details
			Financial and commercially sensitive information.	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information.	Quotes/progress claims are withheld due to breakdown of information that may potentially harm commercial position of business.

**Dog Pound Proactive Release – Withholding reasons – July 2024**

Section	Included in pack	Page number	Info withheld	Reason for withholding	Other notes/comments
Quotes/Invoices	N	N/A	Financial and commercially sensitive information	7(2)(b)(ii) to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information	Quotes/progress claims are withheld due to breakdown of information that may potentially harm commercial position of business.
Previous Dog Pound LGOIMA responses	Y	249-257	Personal information	7(2)(a) Protect privacy of natural persons	Requestor names and contact details

# Specifications and plans



- October 14, 2022
- Masterton Property
- Carterton Property
- South Waikato Property

1:282



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 The New Zealand Geographic Board (NZGB) is the national authority for the naming of geographical features in New Zealand. It is responsible for the naming of all geographical features in New Zealand, including mountains, rivers, lakes, and islands. The NZGB also maintains a database of geographical names and provides information on the naming process. For more information, visit the NZGB website at [www.nzgb.govt.nz](http://www.nzgb.govt.nz).

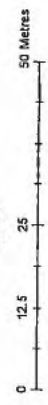




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- August 10 2022
- Masterton Property
- Carterton Property
- South Wairarapa Property

1:564



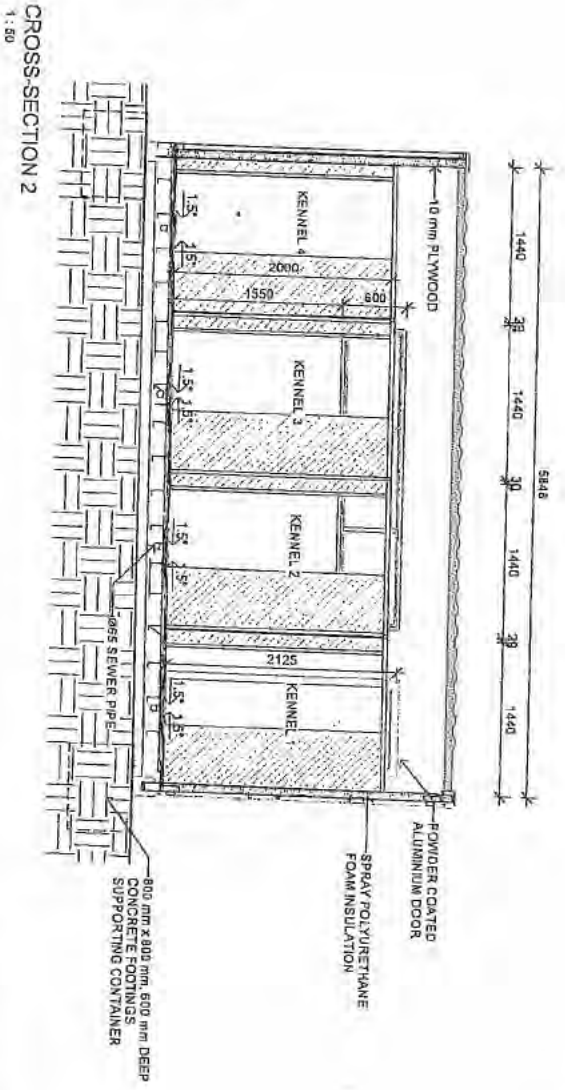
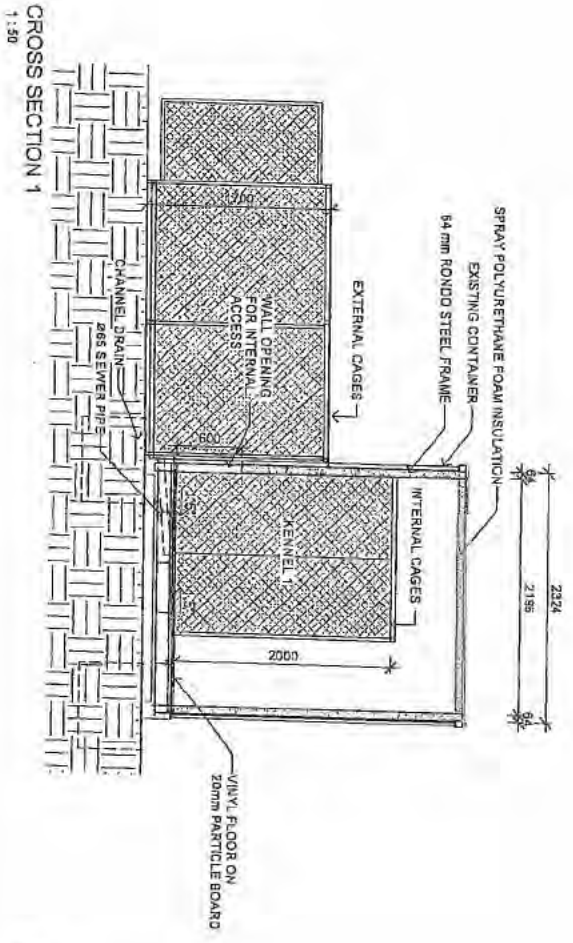
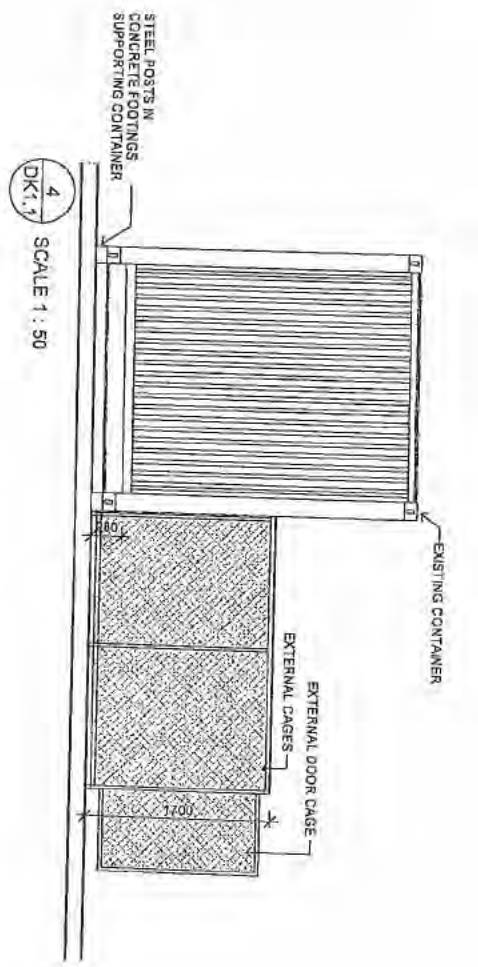
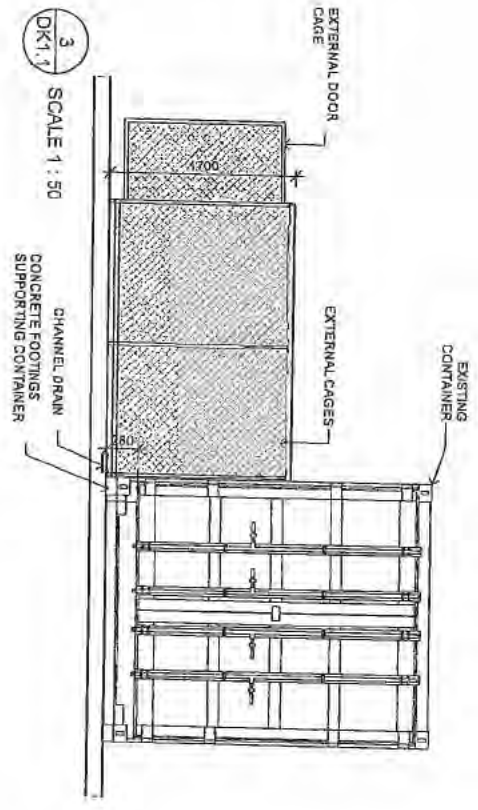
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 See the South Island map for further information.







NO.	DESCRIPTION









REVISION HISTORY

NO.	DESCRIPTION

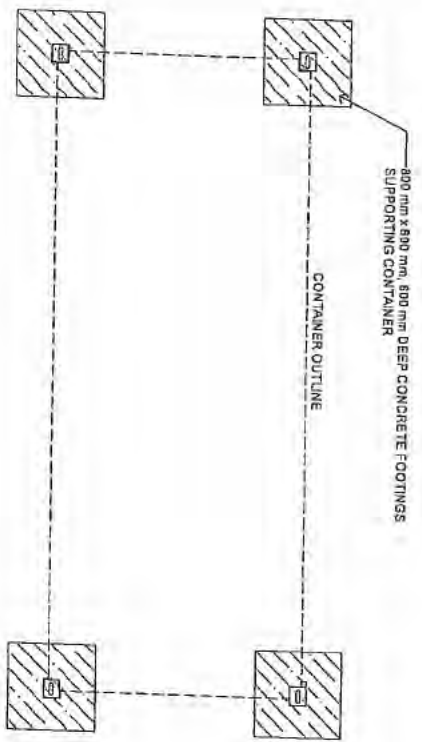
JOB TITLE  
 NEW DOG KENNEL

DRAWING TITLE  
 FOUNDATION PLAN

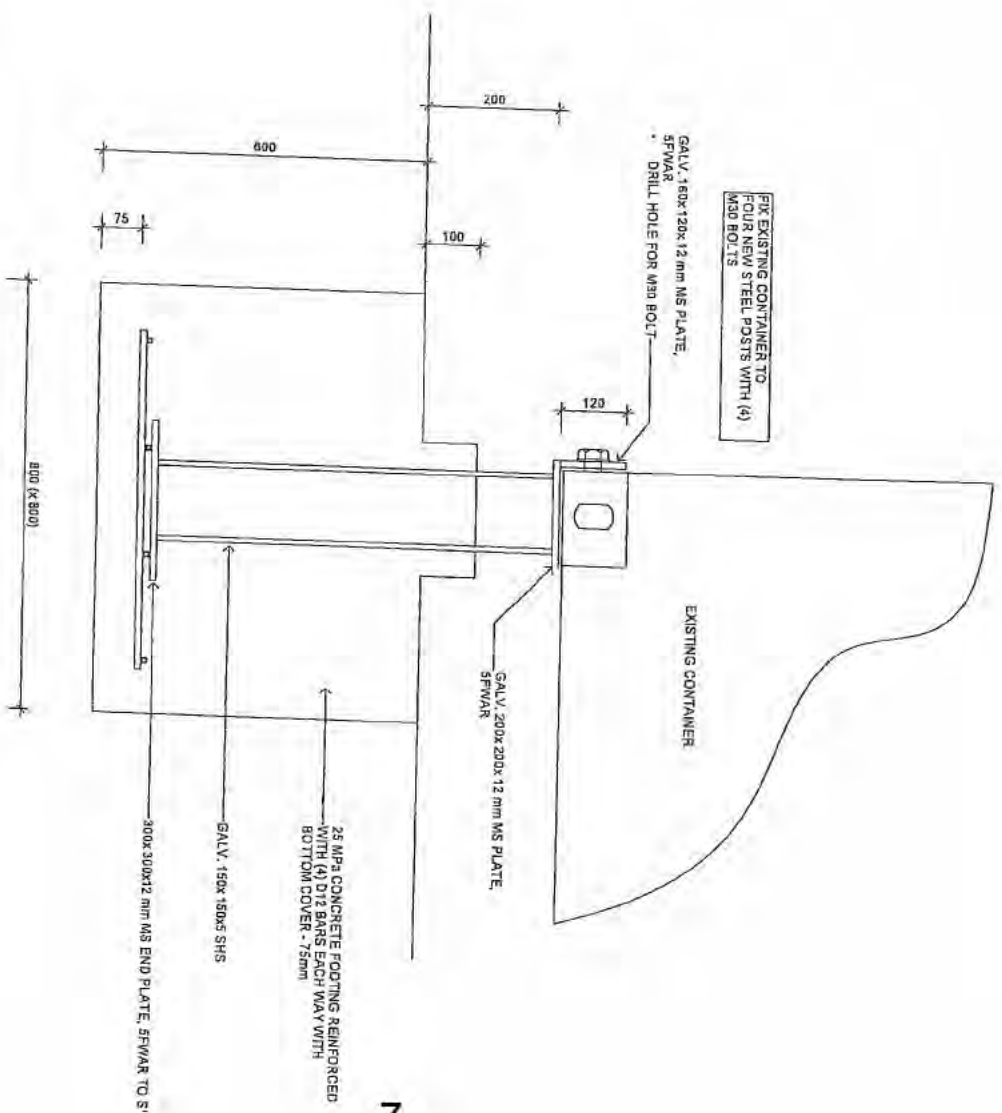
DATE	21/11/2022
DRAWN BY	[Redacted]
CHECKED BY	[Redacted]
DRAWING SCALE	As indicated @ A3
SHEET No	DK1.3

- FOUNDATION NOTES:**
1. REFER TO FLOOR PLAN FOR SET-OUT DIMENSIONS.
  2. ALL FOUNDATIONS ARE TO BE PLACED ON SOLID GROUND WITH AT LEAST 200 kPa ULTIMATE GROUND BEARING CAPACITY.
  3. EXACT POSITIONS OF NEW CONTAINER FOOTINGS AND CAST-IN STEEL POSTS SHALL BE CONFIRMED BY BUILDER ON SITE.
  5. ALL CONCRETE CONSTRUCTION TO COMPLY WITH NZS 3109.

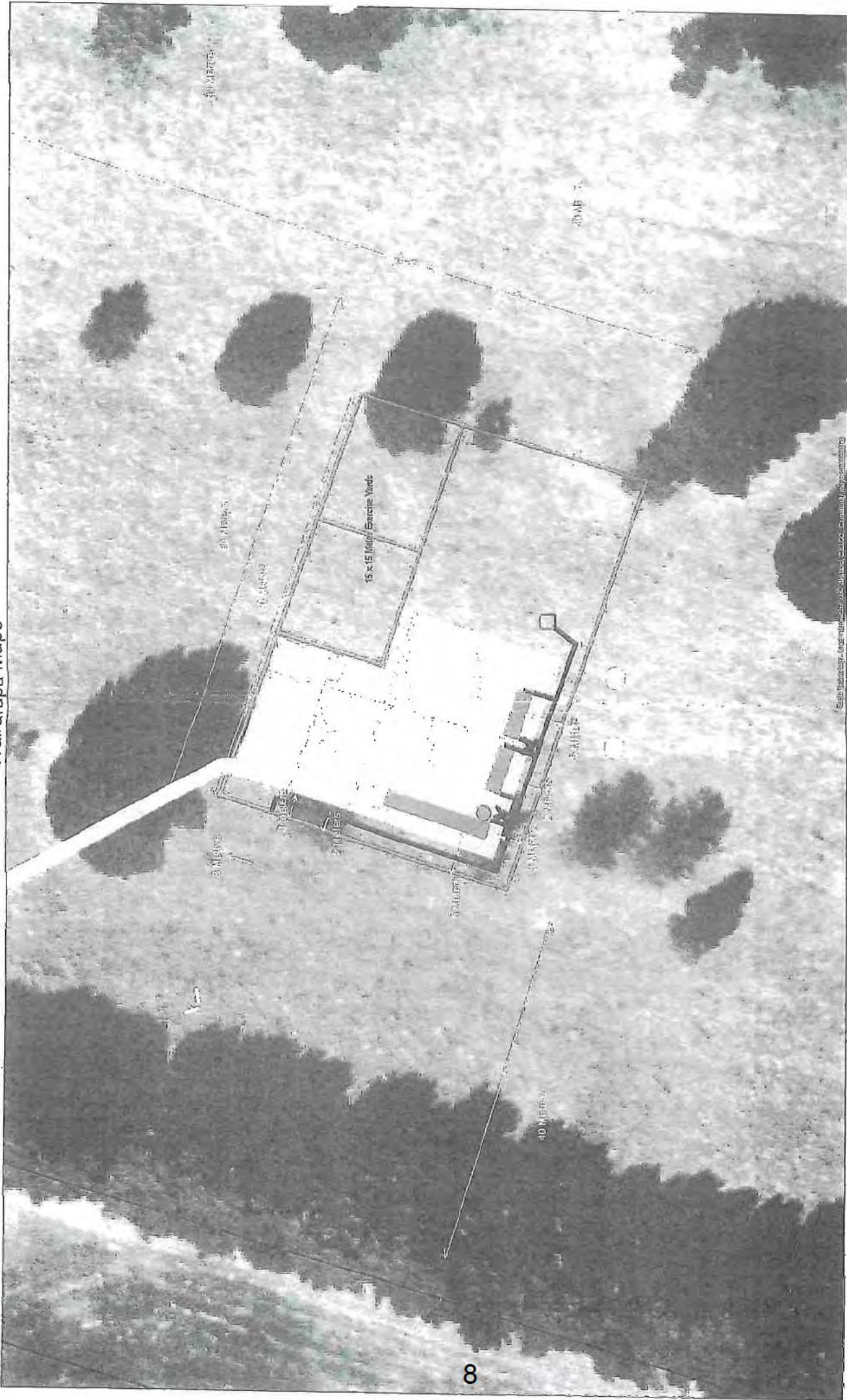
**FOUNDATION PLAN**  
 1:50



**CONTAINER BASE DETAIL**  
 1:25







1:282



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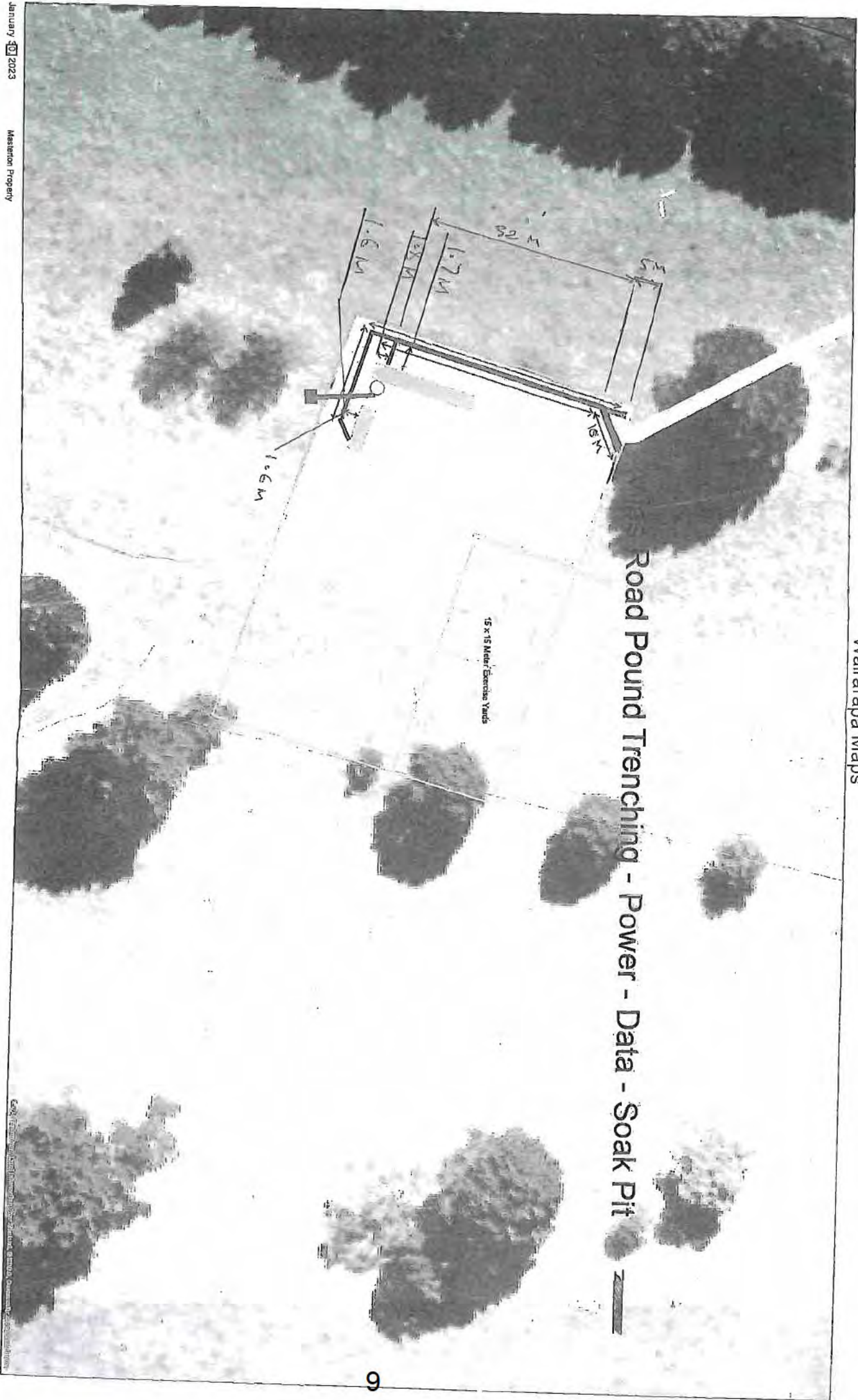
X marks the position of the soakpits which are 1m<sup>2</sup> each.

- Matarau Property
- Carterton Property
- South Wairarapa Property

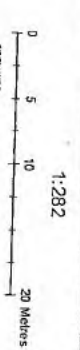
October 4 2022



# Road Pound Trenching - Power - Data - Soak Pit



- January 30 2023
- Mesterton Property
  - Carleton Property
  - South Maitirapa Property

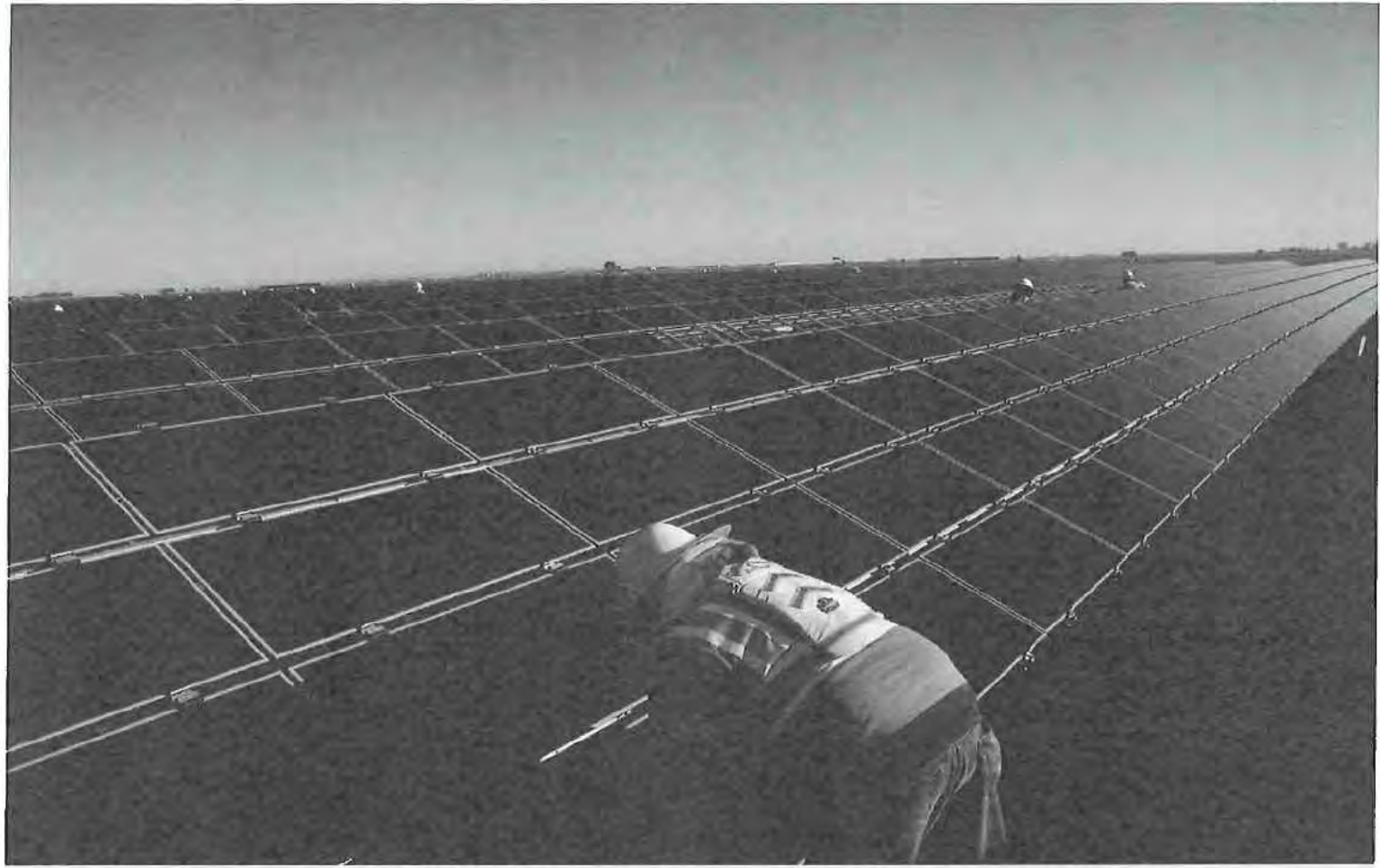


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## YOUR OFF-GRID SOLAR PROPOSAL

Quotation no. 91

Prepared for South Wairarapa District Council

Address: Soldiers Settlement Road North, South Featherston, New Zealand

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### Getting on the right track with off-grid power

An off-grid power system is essential infrastructure and must be designed and installed to work reliably and withstand the rigours of time. We pride ourselves on delivering systems that deliver the energy you need, when you need it, year after year.



Cost Saving

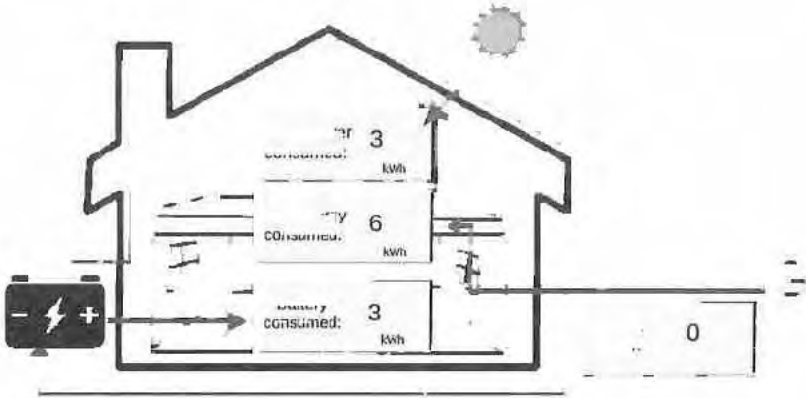
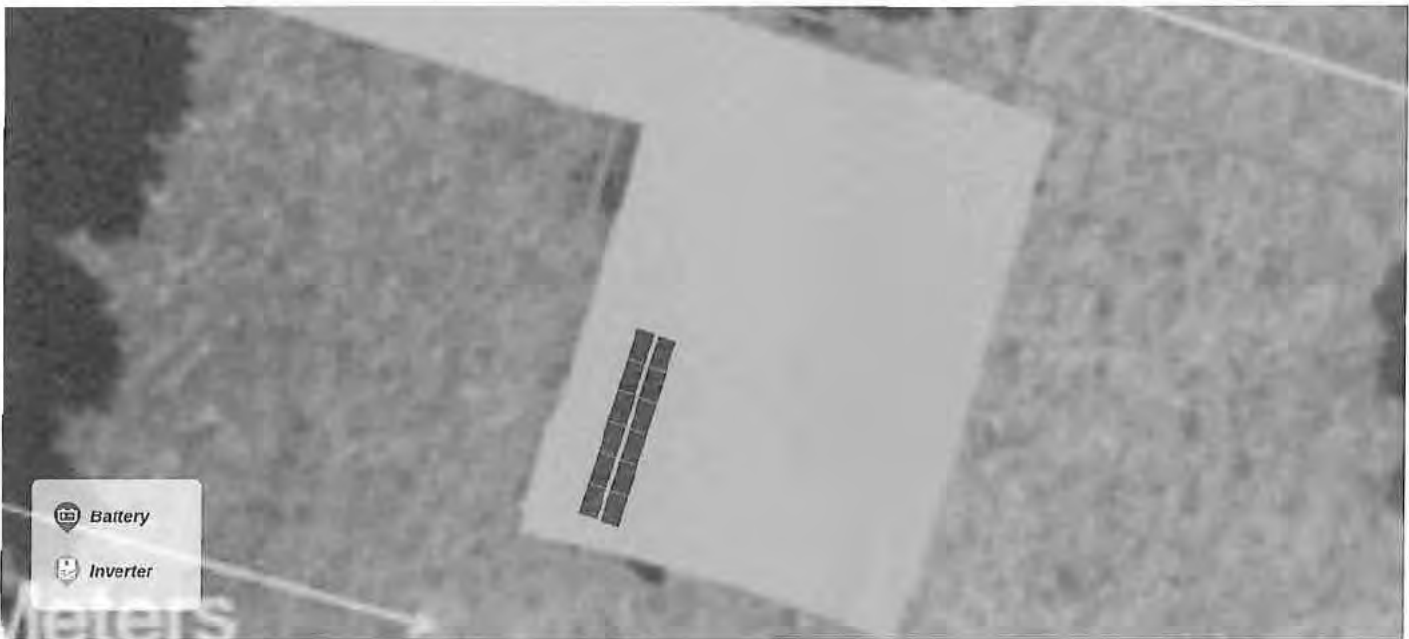


Reliability



CO<sub>2</sub> Reduction

	5.28 kW Solar Array		5 kW Inverter Power		16.63 kWh Battery Capacity		0 kVA Generator Size
-----------------------------------------------------------------------------------	------------------------	-----------------------------------------------------------------------------------	------------------------	-----------------------------------------------------------------------------------	-------------------------------	-------------------------------------------------------------------------------------	-------------------------



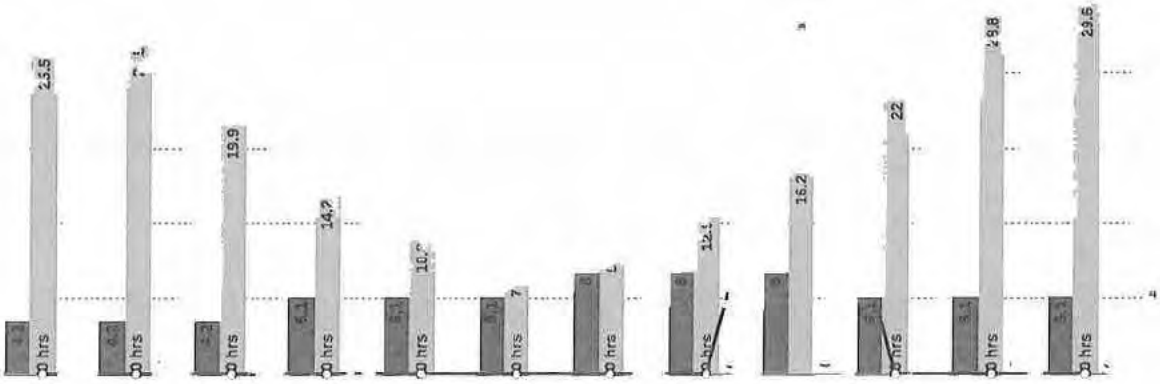
### 100 % powered by renewables

Our aim is to match your consumption with sufficient solar and storage capacity to meet everyday needs.

The solar and battery consumed figures show the clean energy supplied to meet as much as possible of your daily energy consumption, with the back up grid supplying power in the worst weather.

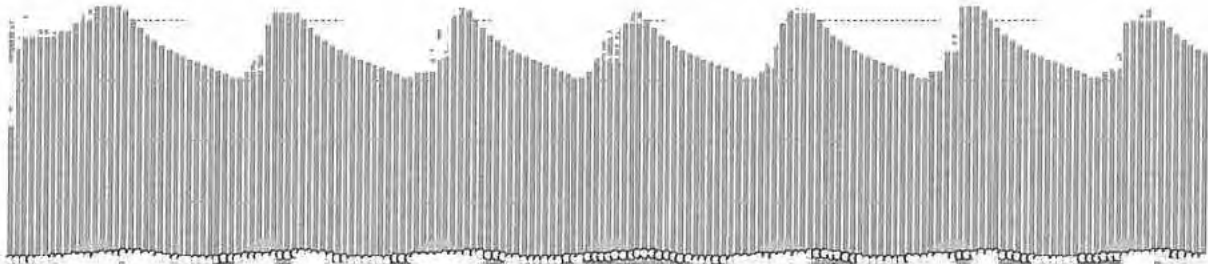


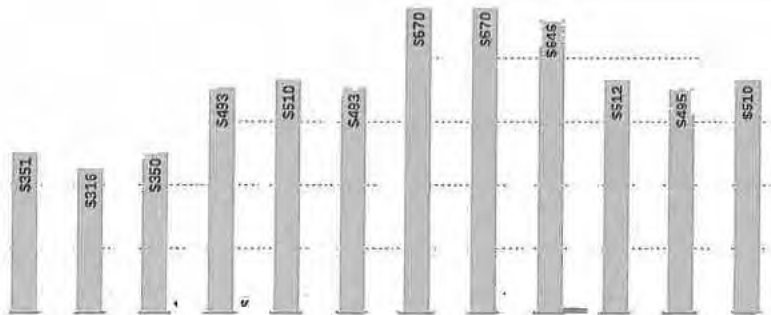


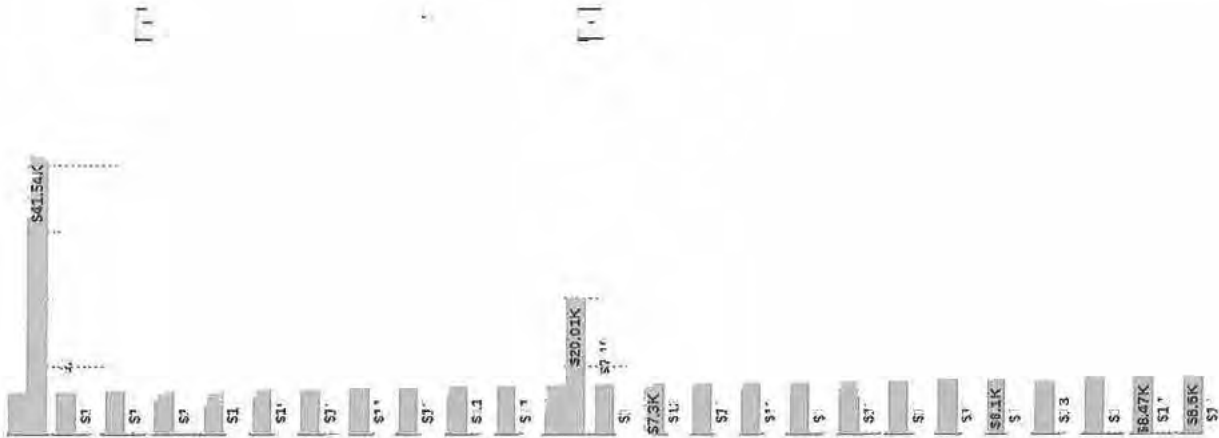


Generator size	Genset runtime	Battery Charge Cycles
0 kVA	18 hours per year	59 for the first year

F E -







Net present value: \$19,151.00	Internal rate of return: 10.76%	Net cost of solar power: 38.78 c/kWh	Carbon emission savings : 0.4 tonnes CO <sub>2</sub>
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Savings

**\$6,006**

for the first year

Payback time

**6 yrs 9 mths**




# BlueSolar Charge Controllers with screw- or MC4 PV connection

## MPPT 150/45, MPPT 150/60, MPPT 150/70, MPPT 150/85, MPPT 150/100

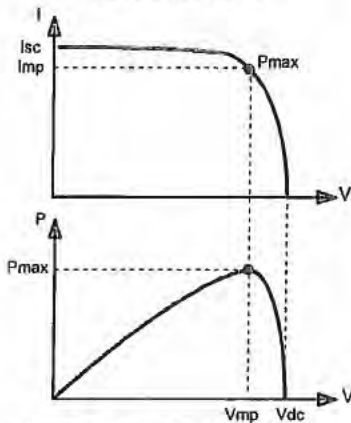
www.victronenergy.com



Solar Charge Controller  
MPPT 150/70-Tr



Solar Charge Controller  
MPPT 150/70-MC4



Maximum Power Point Tracking

**Upper curve:**  
Output current (I) of a solar panel as function of output voltage (V).  
The Maximum Power Point (MPP) is the point P<sub>max</sub> along the curve where the product I x V reaches its peak.

**Lower curve:**  
Output power P = I x V as function of output voltage.  
When using a PWM (not MPPT) controller the output voltage of the solar panel will be nearly equal to the voltage of the battery, and will be lower than V<sub>mp</sub>.

### Ultra-fast Maximum Power Point Tracking (MPPT)

Especially in case of a clouded sky, when light intensity is changing continuously, an ultra-fast MPPT controller will improve energy harvest by up to 30% compared to PWM charge controllers and by up to 10% compared to slower MPPT controllers.

### Advanced Maximum Power Point Detection in case of partial shading conditions

If partial shading occurs, two or more maximum power points may be present on the power-voltage curve. Conventional MPPTs tend to lock to a local MPP, which may not be the optimum MPP.

The innovative BlueSolar algorithm will always maximize energy harvest by locking to the optimum MPP.

### Outstanding conversion efficiency

No cooling fan. Maximum efficiency exceeds 98%.

### Flexible charge algorithm

Fully programmable charge algorithm (see the software page on our website), and eight pre-programmed algorithms, selectable with a rotary switch (see manual for details).

### Extensive electronic protection

Over-temperature protection and power derating when temperature is high.  
PV short circuit and PV reverse polarity protection.  
PV reverse current protection.

### Internal temperature sensor

Compensates absorption and float charge voltage for temperature.

### Real-time data display options

- Apple and Android smartphones, tablets and other devices: see the VE.Direct to Bluetooth Smart dongle
- ColorControl panel



BlueSolar Charge Controller	MPPT 150/45	MPPT 150/60	MPPT 150/70	MPPT 150/85	MPPT 150/100
Battery voltage	12/24/48V Auto Select (software tool needed to select 36V)				
Rated charge current	45A	60A	70A	85A	100A
Nominal PV power, 12V 1a,b)	650W	860W	1000W	1200W	1450W
Nominal PV power, 24V 1a,b)	1300W	1720W	2000W	2400W	2900W
Nominal PV power, 48V 1a,b)	2600W	3440W	4000W	4800W	5800W
Max. PV short-circuit current 2)	50A	50A	50A	70A	70A
Maximum PV open circuit voltage	150V absolute maximum coldest conditions 145V start-up and operating maximum				
Maximum efficiency	98%				
Self-consumption	10 mA				
Charge voltage 'absorption'	Default setting: 14,4 / 28,8 / 43,2 / 57,6V (adjustable)				
Charge voltage 'float'	Default setting: 13,8 / 27,6 / 41,4 / 55,2V (adjustable)				
Charge algorithm	multi-stage adaptive				
Temperature compensation	-16 mV / -32 mV / -68 mV / °C				
Protection	Battery reverse polarity (fuse, not user accessible) PV reverse polarity / Output short circuit / Over temperature				
Operating temperature	-30 to +60°C (full rated output up to 40°C)				
Humidity	95%, non-condensing				
Data communication port and remote on-off	VE.Direct (see the data communication whitepaper on our website)				
Parallel operation	Yes (not synchronized)				
<b>ENCLOSURE</b>					
Colour	Blue (RAL 5012)				
PV terminals 3)	35 mm <sup>2</sup> / AWG2 (Tr models) Two sets of MC4 connectors (MC4 models up to 150/70) Three sets of MC4 connectors (MC4 models 150/85 and 150/100)				
Battery terminals	35 mm <sup>2</sup> / AWG2				
Protection category	IP43 (electronic components), IP22 (connection area)				
Weight	3kg			4,5kg	
Dimensions (h x w x d) in mm	Tr models: 185 x 250 x 95 MC4 models: 215 x 250 x 95			Tr models: 216 x 295 x 103 MC4 models: 246 x 295 x 103	
<b>STANDARDS</b>					
Safety	EN/IEC 62109				
1a) If more PV power is connected, the controller will limit input power.					
1b) PV voltage must exceed V <sub>bat</sub> + 5V for the controller to start. Thereafter minimum PV voltage is V <sub>bat</sub> + 1V.					
2) A PV array with a higher short circuit current may damage the controller.					
3) MC4 models: several splitter pairs may be needed to parallel the strings of solar panels. Maximum current per MC4 connector: 30A (the MC4 connectors are parallel connected to one MPPT tracker)					



# MultiPlus-II Inverter/Charger

MultiPlus-II 24/3000/70-32, 48/3000/35-32 & 48/5000/70-50

[▶ Victron online product page](#)

<https://ve3.nl/6H>



### A MultiPlus, plus ESS (Energy Storage System) functionality

The MultiPlus-II is a multifunctional inverter/charger with all the features of the MultiPlus, plus an external current sensor option which extends the PowerControl and PowerAssist function to 50A resp. 100A. The MultiPlus-II is ideally suited for professional marine, yachting, vehicle and land based off-grid applications. It also has built-in anti-islanding functionality, and an increasingly long list of country approvals for ESS application. Several system configurations are possible. For more detailed information see the ESS Design and configuration manual.

### PowerControl and PowerAssist - Boosting the capacity of the grid or a generator

A maximum grid or generator current can be set. The MultiPlus-II will then take account of other AC loads and use whatever is extra for battery charging, thus preventing the generator or grid from being overloaded (PowerControl function).

PowerAssist takes the principle of PowerControl to a further dimension. Where peak power is so often required only for a limited period, the MultiPlus-II will compensate insufficient generator, shore or grid power with power from the battery. When the load reduces, the spare power is used to recharge the battery.

### Solar energy: AC power available even during a grid failure

The MultiPlus-II can be used in off grid as well as grid connected PV and other alternative energy systems. It is compatible with both solar charger controllers and grid-tie inverters.

### Two AC Outputs

The main output has no break functionality. The MultiPlus-II takes over the supply to the connected loads in the event of a grid failure or when shore/generator power is disconnected. This happens so fast (less than 20 milliseconds) that computers and other electronic equipment will continue to operate without disruption.

The second output is live only when AC is available on the input of the MultiPlus-II. Loads that should not discharge the battery, like a water heater for example, can be connected to this output.

### Virtually unlimited power thanks to parallel and three phase operation

Up to 6 Multis can operate in parallel to achieve higher power output. Six 48/5000/70 units, for example, will provide 25 kW / 30 kVA output power with 420 Amps charging capacity.

In addition to parallel connection, three units of the same model can be configured for three phase output. But that's not all: up to 6 sets of three units can be parallel connected for a 75 kW / 90 kVA Inverter and more than 1200 Amps charging capacity.

### On-site system configuring, monitoring and control

Settings can be changed in a matter of minutes with VEConfigure software (computer or laptop and MK3-USB interface needed).

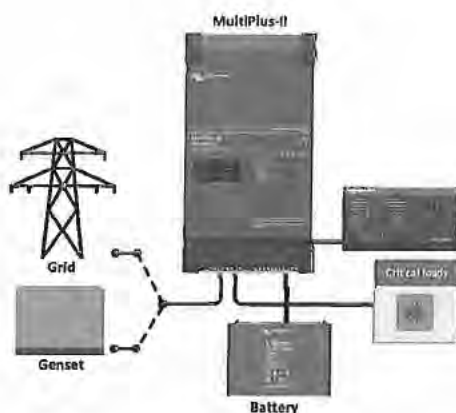
Several monitoring and control options are available: Color Control GX, Venus GX, Octo GX, CANvu GX, laptop, computer, Bluetooth (with the optional VE.Bus Smart dongle), Battery Monitor, Digital Multi Control Panel.

### Remote configuring and monitoring

Install a Color Control GX or other GX product to connect to the internet.

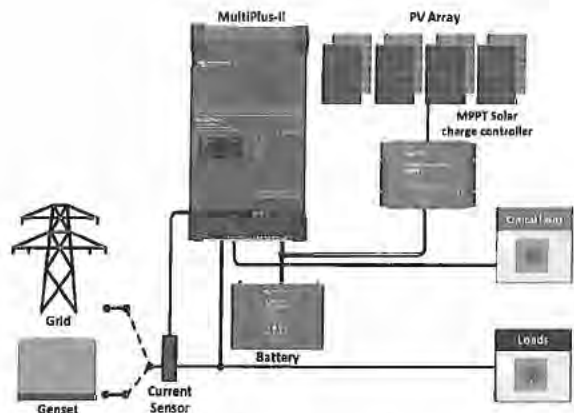
Operational data can be stored and displayed on our VRM (Victron Remote Management) website, free of charge.

When connected to the internet, systems can be accessed remotely, and settings can be changed.



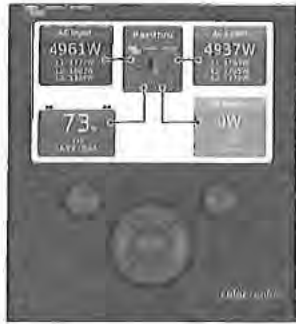
### Standard marine, mobile or off-grid application

Loads that should shut down when AC Input power is not available can be connected to a second output (not shown). These loads will be taken into account by the PowerControl and PowerAssist function in order to limit AC Input current to a safe value when AC power is available.



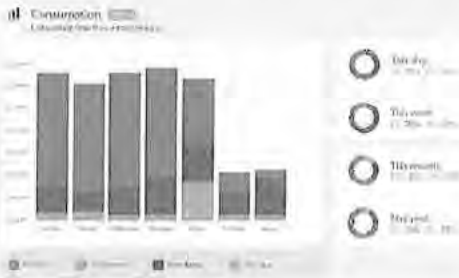
### Grid parallel topology with MPPT solar charge controller

The MultiPlus-II will use data from the external AC current sensor (must be ordered separately) or power meter to optimise self-consumption and, if required, to prevent grid feed. In case of a power outage, the MultiPlus-II will continue to supply the critical loads



### Color Control Panel (CCGX)

Provides intuitive system control and monitoring  
Besides system monitoring and control the CCGX enables access to our free remote monitoring website: the VRM Online Portal



### VRM Portal

Our free remote monitoring website (VRM) will display all your system data in a comprehensive graphical format. System settings can be changed remotely via the portal. Alarms can be received by e-mail.



### VRM app

Monitor and manage your Victron Energy system from your smart phone and tablet. Available for both iOS and Android.



### VE.Bus Smart Dongle

Measures battery voltage and temperature and allows monitoring and control with a smart phone or other Bluetooth enabled device.



Connection Area



### Current sensor 100A:50mA

To implement PowerControl and PowerAssist and to optimize self-consumption with external current sensing.

Maximum current: 50A resp. 100A.  
Length of connection cable: 1 m.



### Digital Multi Control Panel

A convenient and low-cost solution for remote monitoring, with a rotary knob to set PowerControl and PowerAssist levels.

MultiPlus-II	24/3000/70-32	48/3000/35-32	48/5000/70-50
PowerControl & PowerAssist	Yes		
Transfer switch	32A	50A	
Maximum AC Input current	32A	50A	
<b>INVERTER</b>			
DC Input voltage range	19 – 33V	38 – 66V	
Output	Output voltage: 230 VAC ± 2%		
	Frequency: 50 Hz ± 0,1% (1)		
Cont. output power at 25°C (3)	3000VA	5000VA	
Cont. output power at 25°C	2400W	4000W	
Cont. output power at 40°C	2200W	3700W	
Cont. output power at 65°C	1700W	3000W	
Maximum apparent feed-in power	2500VA	4000VA	
Peak power	5500W	9000W	
Maximum efficiency	94%	95%	96%
Zero load power	13W	11W	18W
Zero load power in AES mode	9W	7W	12W
Zero load power in Search mode	3W	2W	2W
<b>CHARGER</b>			
AC Input	Input voltage range: 187-265 VAC		
	Input frequency: 45 – 65 Hz		
Charge voltage 'absorption'	28,8V	57,6V	
Charge voltage 'float'	27,6V	55,2V	
Storage mode	26,4V	52,8V	
Maximum battery charge current (4)	70A	35A	70A
Battery temperature sensor	Yes		
<b>GENERAL</b>			
Auxiliary output	Yes (32A)		
External AC current sensor (optional)	50A	100A	
Programmable relay (5)	Yes		
Protection (2)	a – g		
VE.Bus communication port	For parallel and three phase operation, remote monitoring and system integration		
General purpose com. port	Yes, 2x		
Remote on-off	Yes		
Operating temperature range	-40 to +65°C (fan assisted cooling)		
Humidity (non-condensing)	max 95%		
<b>ENCLOSURE</b>			
Material & Colour	Steel, blue RAL 5012		
Protection category	IP22		
Battery-connection	M8 bolts		
230V AC-connection	Screw terminals: 13 mm <sup>2</sup> (6 AWG)		
Weight	18 kg	29 kg	
Dimensions (h x w x d) mm	506 x 275 x 147	565 x 323 x 148	
<b>STANDARDS</b>			
Safety	EN-IEC 60335-1, EN-IEC 60335-2-29, EN-IEC 62109-1, EN-IEC 62109-2		
Emission, Immunity	EN 55014-1, EN 55014-2		
Uninterruptible power supply	EN-IEC 61000-3-2, EN-IEC 61000-3-3		
Anti-islanding	IEC 61000-6-1, IEC 61000-6-2, IEC 61000-6-3		
	Please consult the certificates on our website.		
1) Can be adjusted to 60 Hz	Please consult the certificates on our website.		
2) Protection key:	3) Non-linear load, crest factor 3:1		
a) output short circuit	4) At 25°C ambient		
b) overload	5) Programmable relay which can be set for general alarm, DC under voltage or genset start/stop		
c) battery voltage too high	function: AC rating: 230V / 4A, DC rating: 4A up to 35VDC and 1A up to 60VDC		
d) battery voltage too low			
e) temperature too high			
f) 230 VAC on inverter output			
g) input voltage ripple too high			



# e·stello™ Solar Lighting

## Street/Area Light



PHOLUM AREA S2L



PHOLUM AREA S3L



SOLO S1A SOLAR LIGHT



SOLO S1P SOLAR LIGHT



SOLO S1V POLE WRAP



SOLO SOLAR BATTEN



SENTRY LIGHT KIT FLOOD



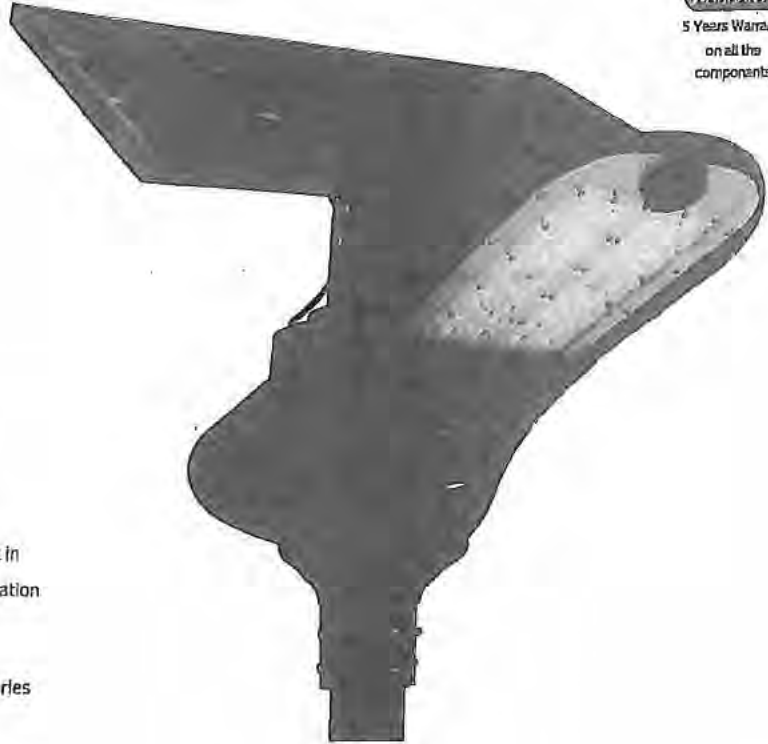
# Pholum Area Light G2

Pholum Series G2  
EST-S2L

All in one Photo-voltaic Street Light



5 Years Warranty  
on all the  
components



## Pholum Area Light G2

### Features:

- Integrated Photo-voltaic Panel, LED Luminaire,
- Lithium battery, micro-controller into one system
- All components regulated to provide maximum efficiency
- Easy Installation, no power or cables required
- Solar Lighting naturally doubles as an exterior emergency light in the case of a power outage. Suitable for assembly point illumination

### Applications:

Marinas, Rural roads, Courtyards, Parks, Farms, Schools, Factories

## Product Information

Product Code	Beam Angle	Solar Panel	Lumens	Light Size	Panel Size	Weight
EST-S2L-7800T3-4K-BLK	150°*80° Type 3	120W/36V	7800	729x300x540mm	1140x670x50mm	26.0Kg
EST-S2L-9600T2S-4K-BLK	150°*70° Type 2-S	120W/36V	9600	729x300x540mm	1140x670x50mm	26.0Kg
EST-S2L-10400T3-4K-BLK	150°*80° Type 3	150W/36V	10400	729x300x540mm	1475x665x30mm	28.0Kg
EST-S2L-12800T2S-4K-BLK	150°*70° Type 2-S	150W/36V	12800	729x300x540mm	1475x665x30mm	28.0Kg
EST-S2L-13000T3-4K-BLK	150°*80° Type 3	200W/36V	13000	729x300x540mm	1580x808x50mm	32.0Kg
EST-S2L-16000T2S-4K-BLK	150°*70° Type 2-S	200W/36V	16000	729x300x540mm	1580x808x50mm	32.0Kg

\*Contact us for our range of customised and tiltable poles suitable for this product.

**e.stello**  
Solar Lighting



Please note the technical information and product images are subject to change due to product upgrades and feature changes.

Lumina  
Solar

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[REDACTED]

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**From:** [REDACTED]  
**Sent:** Tuesday, 9 August 2022 9:58 pm  
**To:** [REDACTED]  
**Subject:** Dog Pound Solar and Electrical System Proposal  
**Attachments:** Dog Pound Off Grid Solar Proposal.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Good evening [REDACTED]

Attached is the Off Grid Solar Proposal for the Dog Pound as we have discussed.

I have "mounted" the solar panels on the roof of the 40' container in an East / West Configuration, and assumed that the container will be located in the bottom left-hand corner of the new yard. It won't make too much difference if this location changes, as long as we don't have any tree shading.

My Load Calculations estimate that at a maximum the electrical equipment should only be using around 6-8 kWh per day when the pound is occupied. There is plenty of capacity in the solar panels and batteries to provide three times this daily requirement i.e. up to 18.5 kWh per day. This is deliberate, as it allows for a number of continuously bad solar production days in a row, particularly during the winter months. The report also talks about a generator; please ignore this as the software insists that an off grid system has a backup generator as a "financial comparison". As discussed, we will however have the facility for a generator to be plugged into the solar system in the event that the Pound is really busy during the winter, with high energy usage in combination of really cloudy days, meaning that the system is running out of power.

In the future, we can add additional battery modules to provide more electricity, should it ever be needed, however realistically I can't see this happening. I suspect that there is enough capacity in this system to power an additional "dog container" if one is ever added without having to expand this system. This will be determined though by how busy the unit becomes and how much electricity is consumed on a daily basis, so I can't provide 100% certainty on this statement until we see the electricity consumption over a 12-month period.

Ordinarily I work on a 50% deposit up front and then 50% on completion of the unit. For this particular project I am using a couple of suppliers that don't operate charge accounts, so my upfront cash outlay is higher than normal. Therefore if you don't mind I have invoice for 70% up-front and the balance of 30% at completion. As stated in my earlier email confirming the price of \$ [REDACTED] GST I am happy to run this project on an "Open Book" basis, meaning that all my costs are transparent and should there be savings, I will pass those on to the Council. Conversely I have factored in some Contingency into the pricing to cover for anything unexpected or that costs slightly more than I expected or was told.



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None of the diagrams you sent me mentions or illustrates the 8 nylon washers that came with each pole kit, which caused confusion.

Your colleague [redacted] managed to find and give me the information I needed.

**Best Regards**

[redacted]

PH: 06 306 9611 [redacted]



**SOUTH WAIRARAPA  
DISTRICT COUNCIL**  
*Kia Itepetahi 'Āhau*

South Wairarapa District Council  
PO Box 6 Martinborough 5741  
19 Kitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)

From: [redacted]  
Sent: Friday, 3 February 2023 1:27 pm  
To: [redacted]  
Subject: RE: Order Confirmation (SWAI1872-1)

Hi [redacted]

Apologies I was out of the office yesterday and couldn't respond to emails.

Please see attached. The poles should bolt directly to the threaded rods, there should be the nuts and bolts required for this with the shipment

Any questions please don't hesitate to contact me.

Cheers,

[redacted]

Solar Lighting | MasonsLED

M [redacted]

E [redacted]

2/32 Crooks Road, East Tamaki,  
Auckland, 2013, New Zealand

I currently work Tues, Weds, Thurs.  
Anything outside these days will be answered if possible otherwise as soon as I return.  
If it is urgent please phone the office.

[www.masonsled.co.nz](http://www.masonsled.co.nz)



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South Wairarapa District Council  
PO Box 6 Martinborough 5741  
19 Kitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)

From: [Redacted]  
Sent: Tuesday, February 21, 2023 2:34 PM  
To: [Redacted]  
Cc: [Redacted]  
Subject: FW: Poles and lights.

Hi

No hole on the spigot needed as six screws will be tighten against spigot and light bracket and that will secure the light.

Just make sure all six screws are tight enough.

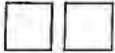
Thanks.

Kind regards,

[Redacted]  
[Redacted] MasonsLED  
P [Redacted]  
E [Redacted]

2/32 Crooks Road, East Tamaki,  
Auckland, 2013, New Zealand

[www.masonsled.co.nz](http://www.masonsled.co.nz)



From: [Redacted]  
Sent: Monday, February 20, 2023 10:36 AM  
To: [Redacted]  
Subject: Poles and lights.

Hi [Redacted]

Today we put the lights together and found the light and solar panel capping was very sloppy on the pole, not a snug fit.

There were six screws on the side of the capping which we tighten up against the pole, but it appeared there needs 3 screws to hold the light down onto the pole and there were no threaded holes in the top of the pole.

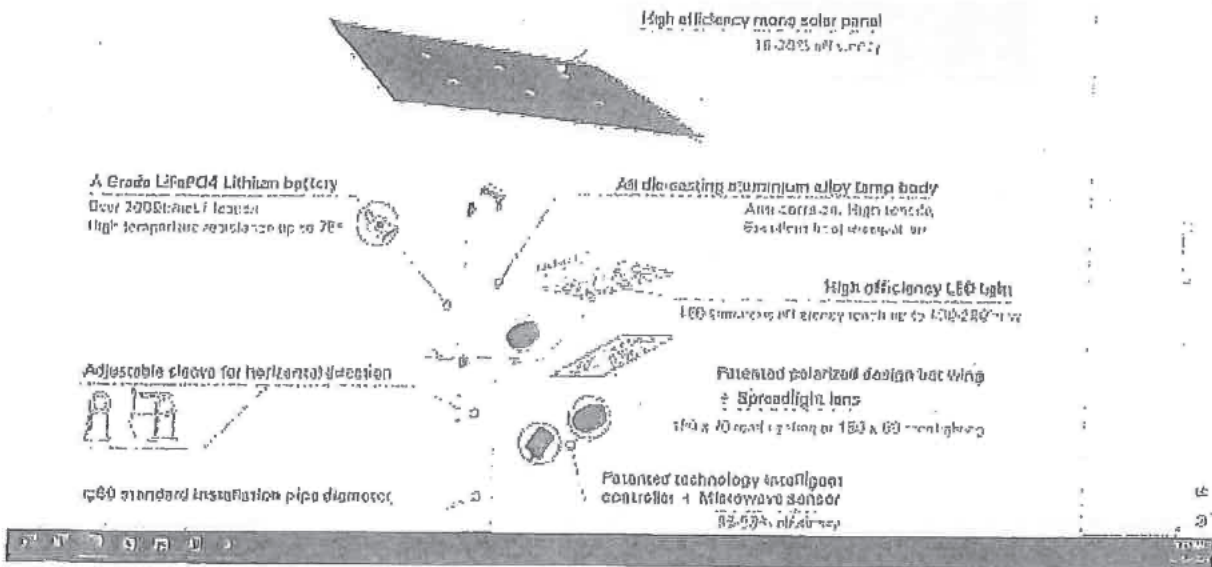
I think we have been sent down the wrong poles or the wrong capping.

Can you please get back to me asap.





Thanks.

As on our datasheet attached, the pole tenon diameter is 60mm.  
And from below the print screen image from the supplier website just 15 minutes ago, the light is designed for  $\phi 60$ mm standard installation pipe diameter. Please understand, thank you.

### Product details





Kind regards,

  
 / MasonsLED  
  


2/32 Crooks Road, East Tamaki,  
Auckland, 2013, New Zealand

[www.masonsled.co.nz](http://www.masonsled.co.nz)



From:   
 Sent: Wednesday, 22 February 2023 9:09 AM  
 To:   
 Subject: RE: Poles and lights.

The pole spigot dimension is 60mm, the cap dimension is 68mm, that's an 8mm clearance which seems disproportionate.

I do have a background in engineering, so I know a little bit about tolerances.

Council will follow your advice regarding the fixture, but I do have concerns.

Thanks

**Best Regards**



PH: 06 306 9611 



From: [Redacted]  
 Sent: Friday, 24 February 2023 10:40 am  
 To: [Redacted]  
 Cc: [Redacted]  
 Subject: FW: Poles and lights.  
 Attachments: IMG-7111.jpg; 20230220\_085318.jpg

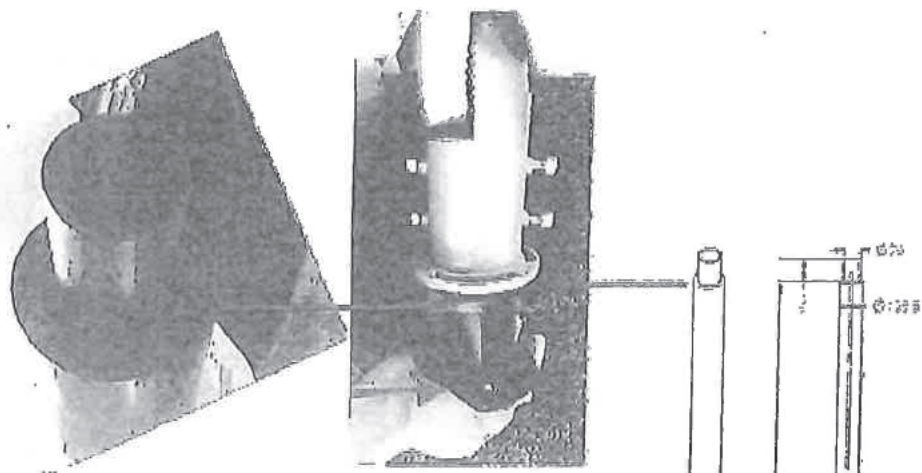
Hi

Sorry for the delay.  
 Should I assume you are saying where the arrows pointed below?

If yes, hope it cans clear up some the confusions now?  
 If not, please advise.

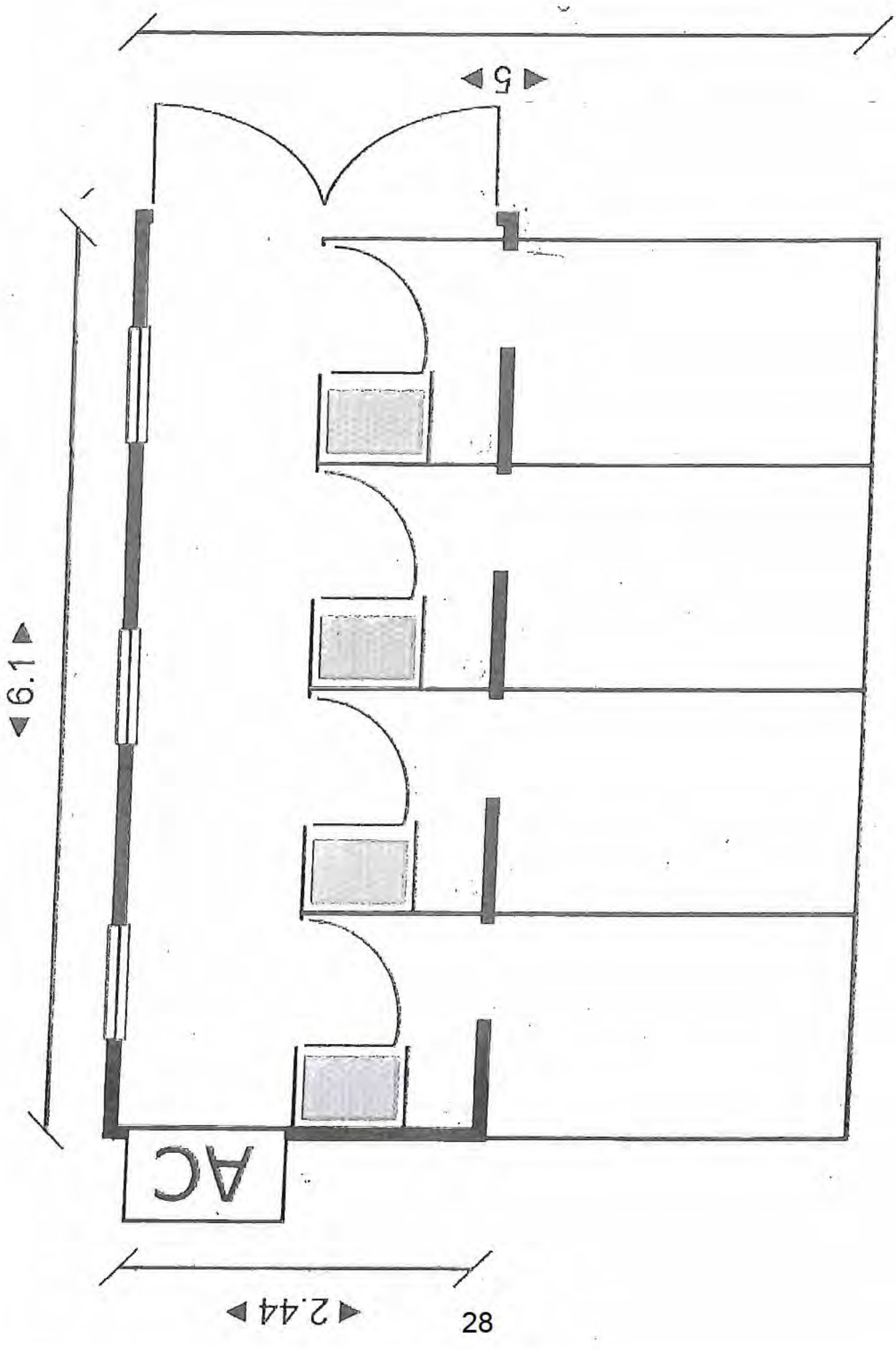
For the taper on the capping, it just the product design.  
 As product details from previous email or below, isn't using for attached to pole.  
 φ60mm pole is too thin for our market, so, we use φ105.5mm with spigot.  
 Hope it is understandable.

Thanks.



### Product details

- High efficiency mono solar panel**  
18-20% efficiency
- A Grade LiFePO4 Lithium battery**  
Over 2000 cycles lifespan  
High temperature resistance up to 75°C
- All die-casting aluminium alloy lamp body**  
Anti corrosion, High tensile  
Excellent heat dissipation
- High efficiency LED Light**  
LED luminous efficiency reaching up to 150lm/w
- Adjustable cleave for horizontal direction**
- Patented polarized design bar wing + Spreadlight lens**  
150 x 200mm lighting or 180 x 60mm lighting
- φ60 standard installation pipe diameter**
- Patented technology - intelligent controller + Microwave sensor**  
IP65 - Microwave



[Redacted]

**From:**  
**Sent:** Thursday, 18 August 2022 11:06 am  
**To:**  
**Subject:** FW: Advice re discharge to land activity  
**Attachments:** FW: New Dog Pound in Featherston

[Redacted]

South Wairarapa District Council  
Cell: [Redacted]

Please consider the environment before printing this e-Mail.  
This message is intended solely for the recipient and may contain confidential or privileged information. If you have received this e-mail in error please notify the sender and delete.

**From:** [Redacted]  
**Sent:** Thursday, 18 August 2022 10:51 am  
**To:** [Redacted]  
**Subject:** RE: Advice re discharge to land activity

Hi [Redacted]

Happy to help! I think a colleague of mine has already provided some advice on this to someone else in SWDC though. I have attached his email chain.

From that I think that if you were to just get a sucker truck to come and empty the tank, you wouldn't need anything from us.

If you were to put in a discharge field, then R75 in the PNRP would apply. If you can meet the conditions of that rule then you also wouldn't need a resource consent.

If you need anything else feel free to call.

Cheers,



[Redacted signature block]

Greater Wellington Te Pane Matua Taiao  
34 Chapel Street, Masterton  
PO Box 41, Masterton 5840  
Follow us online: [Facebook](#) | [Twitter](#) | [gw.govt.nz](http://gw.govt.nz)

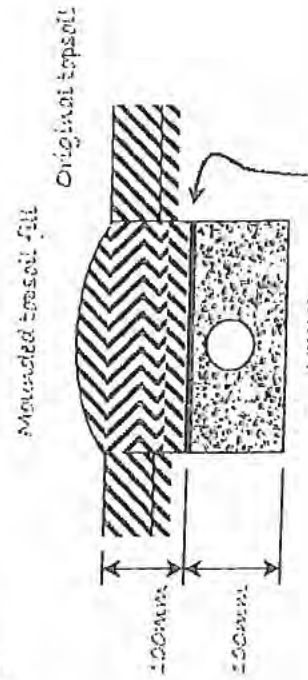
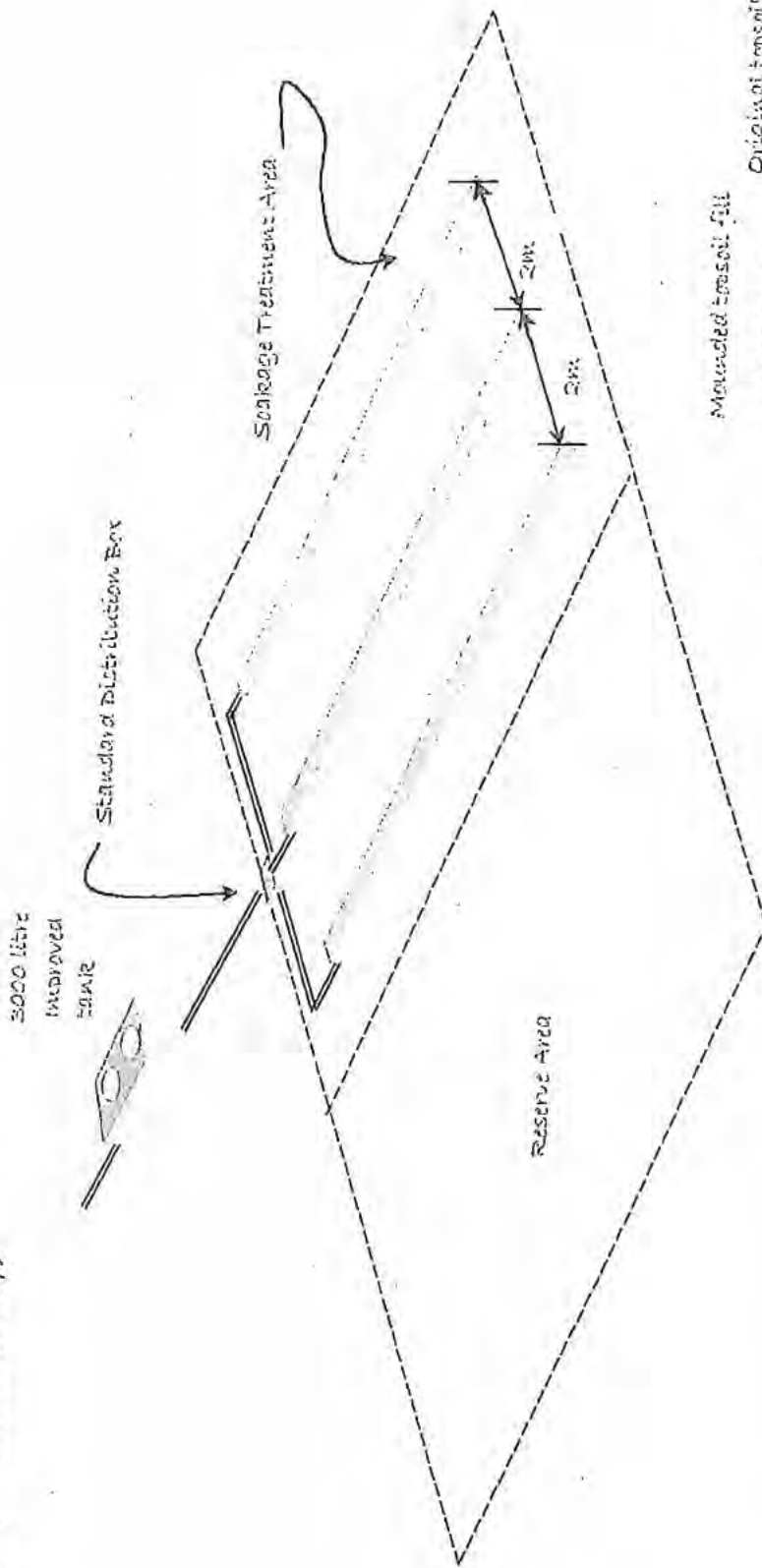


Hi Guys,

I just need to clarify the septic system info.

If the pressure compensating dripline is used, a secondary treatment system is required, that is, an aerated system. These are expensive to install and maintain. The normal septic tank (You can use the "tuff tank") Only needs gravity fed effluent trenches and no power required. See diagram below:

### Model Designs 3 & 4 - Moderate Draining Soils System Layout (Indicative only)



Notes:

- 1. Check with your local Council for specific siting criteria
- 2. Improved septic tank incorporates effluent outlet filter

From: [Redacted]  
 Sent: Monday, 11 July 2022 9:58 am  
 To: [Redacted]  
 Subject: Dog pound.  
 Attachments: scan\_plumbing4\_2022-07-11-09-36-19.pdf

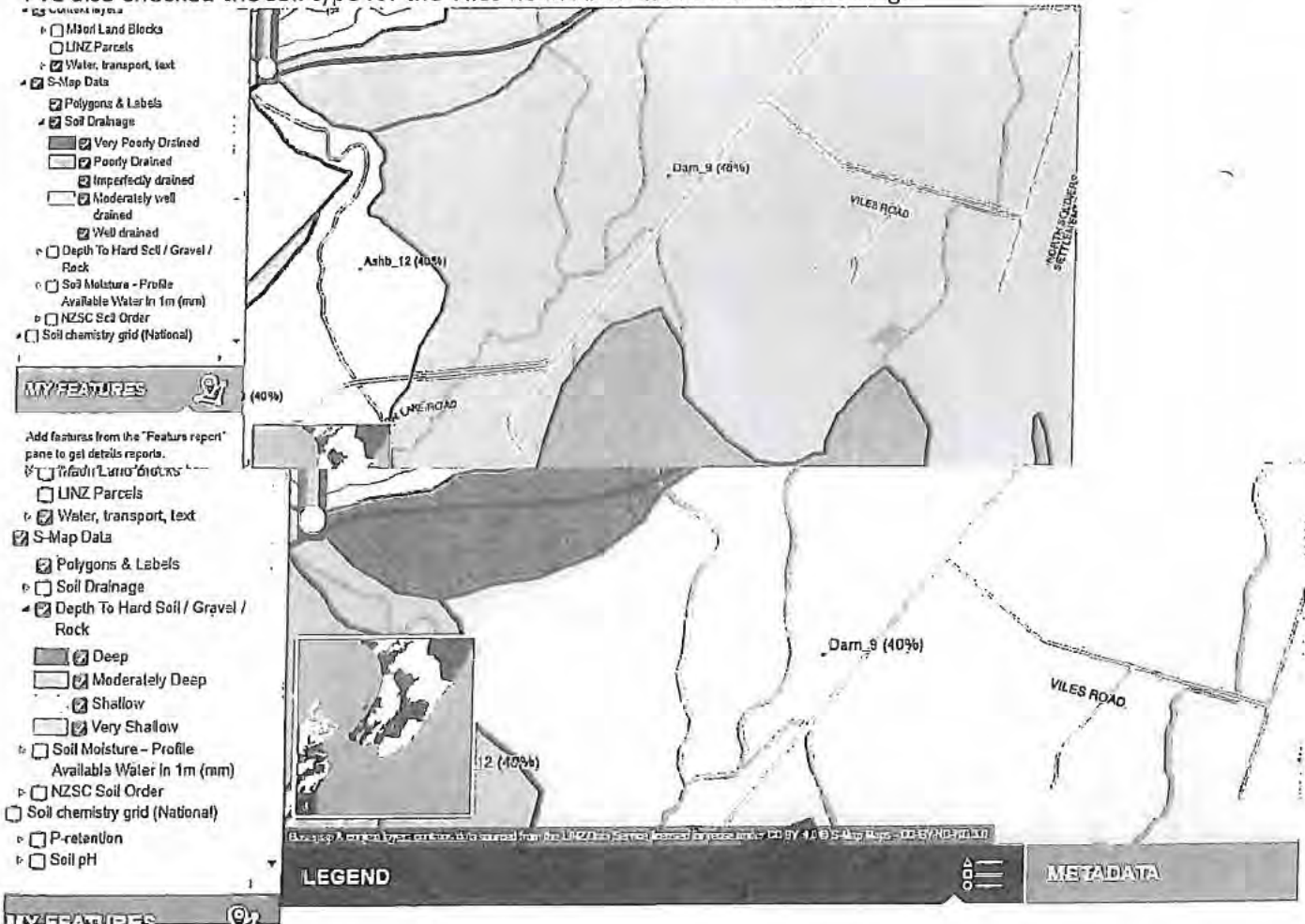
Hi [Redacted]  
<https://www.decoprecasters.co.nz/concrete-tanks-wellington>

Info in above link for tuff tank (Combined septic and pump chamber) You may have to ring them or email to get a price (don't forget delivery as you need a hi-ab crane/ truck to lift the tank into the hole).

Attached are some schematics that show how the pressure compensating drip-lines work with various options for lay-out.

The discharge to land rule 7 applies. <https://www.gw.govt.nz/your-region/plans-policies-and-bylaws/plans-and-reports/environmental-plans/regional-plan-for-discharges-to-land/> and is a permitted activity if the criteria are met.

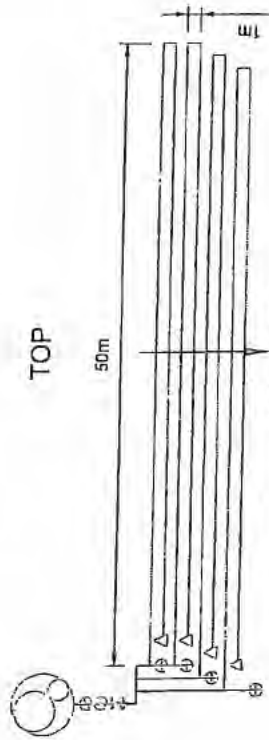
I've also checked the soil type for the Viles Road Area and found the following:





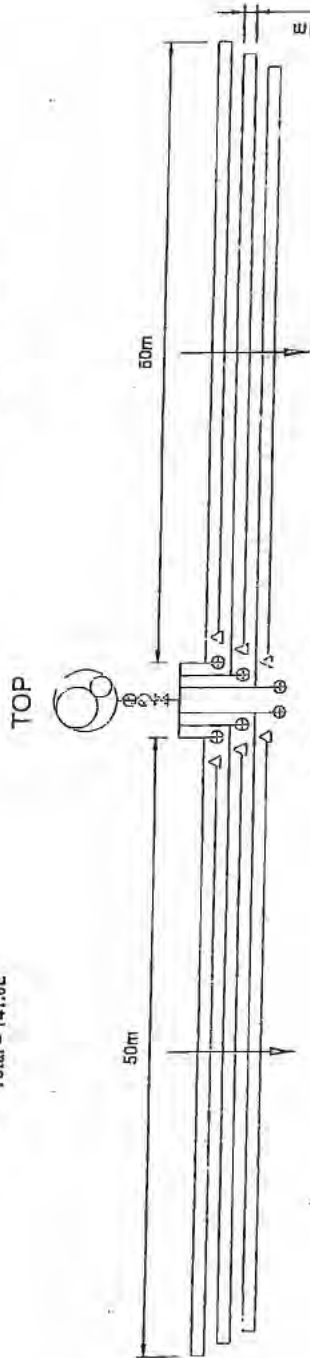


# Basic Irrigation Design Plan



400m² Field Water Volume  
 Rising main = 12.3L  
 Irrigation line = 80.4L  
 Total = 92.7L

600m² Field Water Volume  
 Rising main = 20.6L  
 Irrigation line = 121L  
 Total = 141.6L

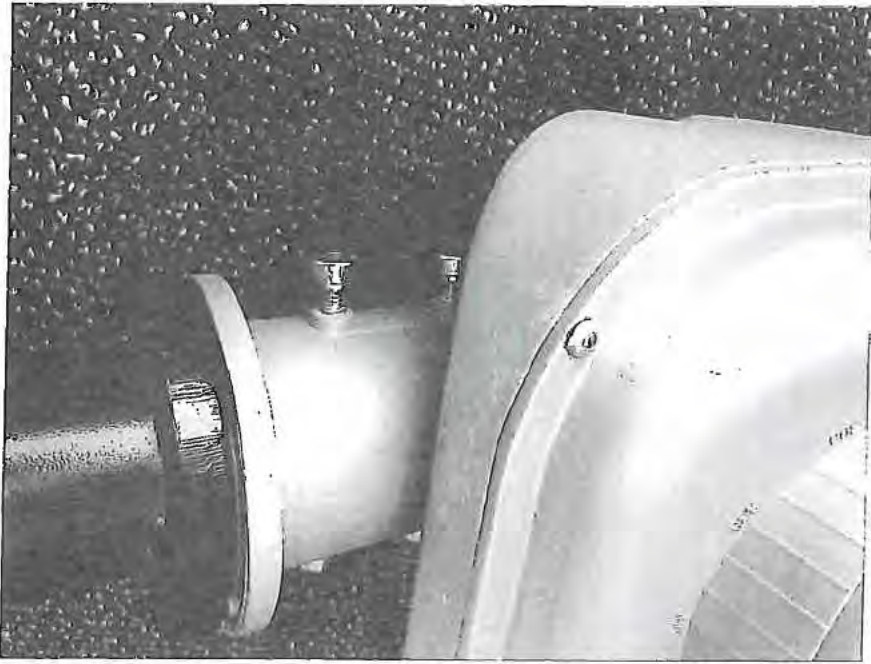


- Index**
- ⊙ - Air Valve
  - ⊕ - 25 FV
  - △ - 16 FV
  - ⊗ - Non-Return
  - ⊕ - AMIAD Filter (Disc Filter)
  - ⊙ - Tank
  - - 25mm Rising Main
  - - 16mm Irrigation Line

\* 100m Maximum Length  
 \* Arrows indicate sloping hill

<p><b>NOTES:</b></p>	<p><b>REVISIONS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO</th> <th>REVISION DESCRIPTION</th> <th>DATE</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO	REVISION DESCRIPTION	DATE	DRAWN																																									<p><b>PROJECT:</b>                  Additional Irrigation Layouts 3</p> <p style="text-align: center;"><b>HAVARDS</b>                  ENVIRONMENTAL</p> <p>PO Box 85413, Botolph Claydon, Norfolk, EN18                  Tel: 01527 15203                  Fax: 01527 27485                  email: sales@havards.com</p> <p><small>The Havards Group is a limited liability company registered in England. The Havards Group is a company limited by guarantee. The Havards Group is a company registered in England. The Havards Group is a company limited by guarantee. The Havards Group is a company registered in England. The Havards Group is a company limited by guarantee.</small></p>	<p><b>DRAWING TITLE</b></p>
NO	REVISION DESCRIPTION	DATE	DRAWN																																												
		<p><b>REGISTRATION NUMBER:</b></p> <p><b>DRAWN:</b></p> <p><b>DESIGNED:</b></p> <p><b>CHECKED:</b></p> <p><b>DATE:</b></p> <p><b>REVISION NUMBER:</b></p>	<p><b>SCALE:</b> N.T.S</p> <p><b>PAPER SIZE:</b> A3</p> <p><b>DATE:</b> 28 Aug 2013</p> <p><b>REVISION NUMBER:</b></p>																																												

24







viewing image

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1:564



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- Maslerton Property
- Carterton Property
- South Waikarepa Property

August 4, 2022







Duplicate.

286

[Redacted]

From: [Redacted]  
 Sent: Tuesday, 9 August 2022 9:58 pm  
 To: [Redacted]  
 Subject: Dog Pound Solar and Electrical System Proposal  
 Attachments: Dog Pound Off Grid Solar Proposal.pdf

Follow Up Flag: Follow up  
 Flag Status: Flagged

Good evening [Redacted]

Attached is the Off Grid Solar Proposal for the Dog Pound as we have discussed.

I have "mounted" the solar panels on the roof of the 40' container in an East / West Configuration, and assumed that the container will be located in the bottom left-hand corner of the new yard. It won't make too much difference if this location changes, as long as we don't have any tree shading.

My Load Calculations estimate that at a maximum the electrical equipment should only be using around 6-8 kWh per day when the pound is occupied. There is plenty of capacity in the solar panels and batteries to provide three times this daily requirement i.e. up to 18.5 kWh per day. This is deliberate, as it allows for a number of continuously bad solar production days in a row, particularly during the winter months. The report also talks about a generator; please ignore this as the software insists that an off grid system has a backup generator as a "financial comparison". As discussed, we will however have the facility for a generator to be plugged into the solar system in the event that the Pound is really busy during the winter, with high energy usage in combination of really cloudy days, meaning that the system is running out of power.

In the future, we can add additional battery modules to provide more electricity, should it ever be needed, however realistically I can't see this happening. I suspect that there is enough capacity in this system to power an additional "dog container" if one is ever added without having to expand this system. This will be determined though by how busy the unit becomes and how much electricity is consumed on a daily basis, so I can't provide 100% certainty on this statement until we see the electricity consumption over a 12-month period.

Ordinarily I work on a 50% deposit up front and then 50% on completion of the unit. For this particular project I am using a couple of suppliers that don't operate charge accounts, so my upfront cash outlay is higher than normal. Therefore if you don't mind I have invoice for 70% up-front and the balance of 30% at completion. As stated in my earlier email confirming the price of \$ [Redacted] + GST I am happy to run this project on an "Open Book" basis, meaning that all my costs are transparent and should there be savings, I will pass those on to the Council. Conversely I have factored in some Contingency into the pricing to cover for anything unexpected or that costs slightly more than I expected or was told.

# **Certificates, consent and compliance**



# Record of Inspection (RoI) of High-Risk prescribed electrical work

Pursuant to the Electricity (Safety) Regulations 2010



Reference/Record ID No: 20230307

## Issuer (Inspector) Details

Name of Inspector:

Registration No:

Email Address:

Telephone:

## Location of Installation

Location Details:

SOLDIERS SETTLEMENT ROAD NORTH, SOUTH FEATHERSTON, NEW ZEALAND

Location type:

 Domestic

 Non-Domestic Accommodation

 Industrial

 Commercial

 Educational

 Healthcare

 Miscellaneous (other)

## Certifying Electrical Work and Certificate of Compliance (CoC) details

Name of Electrical worker(s):


Registration No(s):


Details:

**Dog Pound Off Grid**

CoC(s) attached

## Certifying Electrical Work and RoI details

What was inspected:

1 x Victron MultiPlus-II 48/5000/70-50 Inverter  
 2 x MPPT 145/45  
 Lynx Distributor and fuses  
 12 x 400w Jinko JKM440M-6TL4 Solar Panels  
 5 x PylonTech US3000C Batteries  
 6mm<sup>2</sup> main earth conductor, 6mm<sup>2</sup> bonding, neutral and earthg bars, MEN connection and main earth peg

Specify the regulation(s) and companion standard(s), or identify the certified design, followed when carrying out the inspection:

AS/NZS 3000-2007  
 Energy Safety Regulations 2010  
 AS/NZS 5033.2011  
 AS/NZS 4777.2

What are the results of the inspection:

POLARITY: AS PER COC

INSULATION RESISTANCE: AS PER COC

EARTHING & BONDING AS PER COC

## High Risk Category

Not to AS/NZS 3000 Part 2 - 6A(2)(a)(i)

Photovoltaic system - 6A(2)(a)(iv)

Electrical medical area - 6A(2)(a)(vi)

High voltage installation - 6A(2)(a)(ii)

Hazardous area - 6A(2)(a)(v)

Mains work - 6A(2)(b)

Mains parallel generation - 6A(2)(a)(iii)

Animal stunning or meat conditioning - 6A(2)(c)

Other - please describe: AS/NZS 5033.2011 & AS/NZS 4777.2

## Declaration

I hereby confirm that the work described above has been done IN  accordance with the regulations; and the INSTALLATION / PART INSTALLATION on which the work has been done is, and will BE  when energised, electrically safe.

Signature:

Date: 07/03/2023



**SMC Design Studio**  
Engineers & Architecture



**PRODUCER STATEMENT – DESIGN (PS1)**

(ISSUE A)

ISSUED BY: **SMC DESIGN STUDIO LTD**  
 DESIGN ENGINEER: **[REDACTED]**  
 TO: **1GEOTECHNICAL**  
 TO BE SUPPLIED TO: **SOUTH WAIRARAPA DISTRICT COUNCIL**  
 IN RESPECT OF: **NEW DOG KENNEL FOUNDATIONS**

AT: **VARIOUS LOCATIONS**

**LEGAL DESCRIPTION:**

**SMC DESIGN STUDIO LIMITED** has been engaged by **1GEOTECHNICAL** to provide **Structural Engineering** services in respect of the requirements of Clause B1 of the Building Code 2004 for:

- All
- Part only as specified above

of the proposed building work. The design carried out by us has been prepared in accordance with

- Compliance Documents Issued by MBIE B1/VM1 and B1/VM4 of the approved documents
- Alternative solution as per the attached schedule

The proposed building work covered by this Producer Statement is described on **SMC Design Studio Ltd's** drawings titled **New dog kennel**, dated **21/11/2022** and numbered **DK1.3**.

On behalf of **SMC Design Studio Ltd**, and subject to:

- i. Site verification of the following design assumptions – Minimum ultimate ground bearing strength of 200 kPa.
- ii. All proprietary products meeting their performance specification requirements.

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the building code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

- CM1
- CM2
- CM3
- CM4
- CM5

This Producer Statement - Design is valid for 1 year only from the date of issue.

I, **[REDACTED]**, I am a Member of Engineering New Zealand and hold the following qualifications **BE (Civil), CMEngNZ (Structural), CPEng**.

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance **[REDACTED]**

SIGNED BY **[REDACTED]** ON BEHALF OF **SMC DESIGN STUDIO LTD** DATE: **24 November 2022**

SMC Design Studio Ltd in Issuing this statement holds a current policy of Professional Indemnity Insurance **[REDACTED]**

*Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to SMC Design Studio Ltd only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), **[REDACTED]***

**Construction monitoring site visits required are shown on the reverse.**



**RE: CONSTRUCTION MONITORING**

Construction Monitoring site visits relating to compliance with the building consent documentation and for verification of design assumptions are required as follows:

	TIME	NO. OF VISITS
1	Excavation to check exposed ground conditions	1
2	Foundations pre-pour to check reinforcement	1 per pour

We confirm that records of our site visits will be left on site.

A Producer Statement, Construction Review, could be issued once the above construction monitoring site visits have been completed.

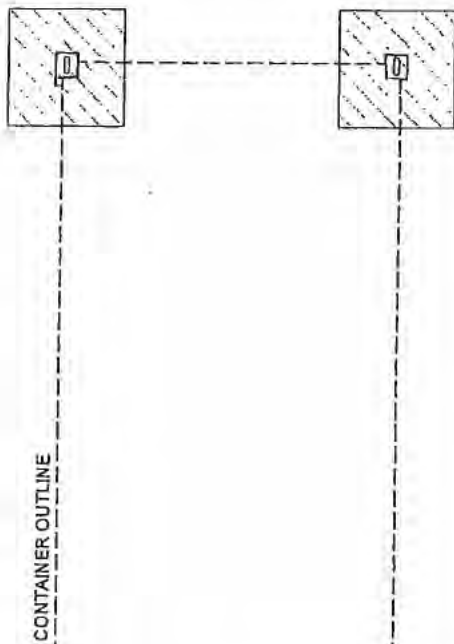
It is the owner's responsibility to notify the Engineer to enable the above site visits to be completed.

Please direct any queries back to SMC Design Studio Limited and   
 (@smcdesign.co.nz)





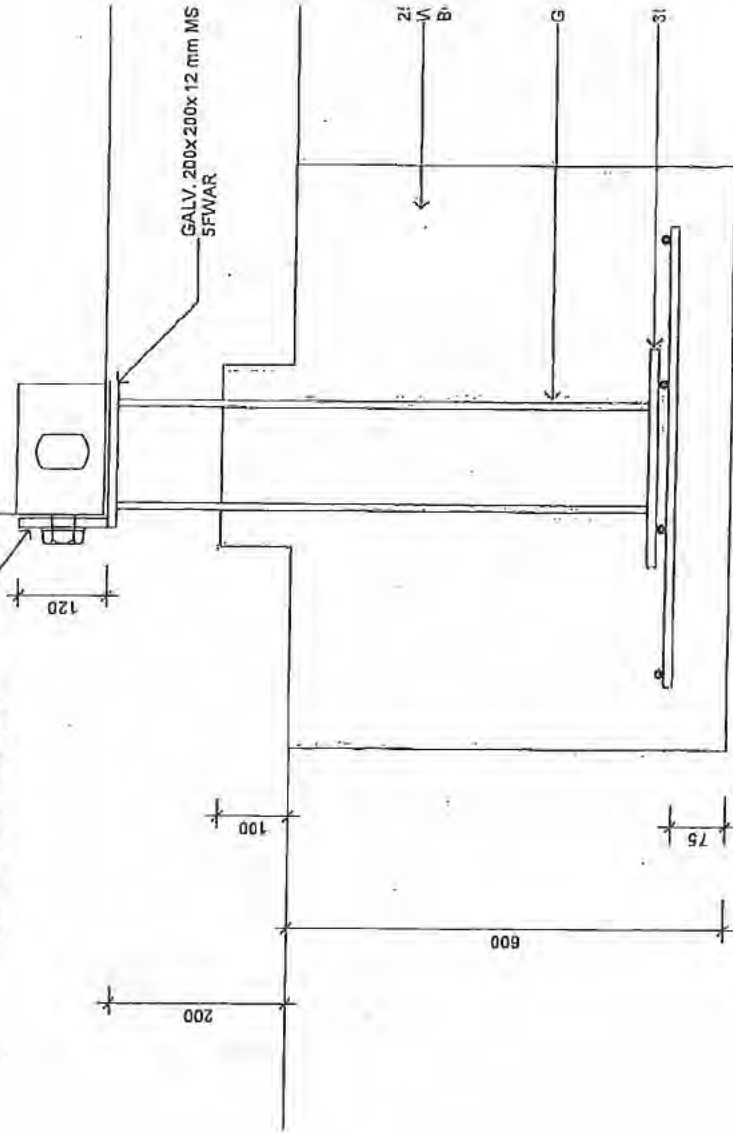
0 mm x 800 mm, 600 mm DEEP CONCRETE FOOTINGS  
SUPPORTING CONTAINER



EXISTING CONTAINER

FIX EXISTING CONTAINER TO  
FOUR NEW STEEL POSTS WITH (4)  
M30 BOLTS

GALV. 160x 120x 12 mm MS PLATE,  
5FWAR  
DRILL HOLE FOR M30 BOLT



CONTAINER BASE DETAIL

1:25

ALL DIMENSIONS.

TO BE SET ON SOLID GROUND WITH AT LEAST 200 kPa ULTIMATE GROUND BEARING CAPACITY.

ALL STEEL COMPONENTS AND CAST-IN STEEL POSTS SHALL BE CONFIRMED BY BUILDER ON SITE.

COMPLY WITH NZS 3109.



**Foundation design**

$q_u = 200 \text{ kPa}$  (available ultimate ground bearing strength)

$\phi_{bc} = 0.7$  (bearing strength reduction factor for earthquake load combinations)

$= 0.5$  (bearing strength reduction factor for load combinations excluding earthquake)

$q_{dbs} = 200 \text{ kPa} \times 0.7 = 140 \text{ kPa}$   
(design ground bearing strength for earthquake load combinations)

$q_{dbs} = 200 \text{ kPa} \times 0.5 = 100 \text{ kPa}$   
(design ground bearing strength for load combinations excluding earthquake)

$G = 25 \text{ kN}$  (container weight)

$Q = 45 \text{ kN}$  (container imposed load - 3 kPa)

$(1.2G + 1.5Q) = 97.5 \text{ kN}$

Try four pads with the dimensions - 800 mm × 800 mm × 600 mm

$F = 97.5 \text{ kN} / 4 \text{ pads} + 1.2 \times 0.8 \text{ m} \times 0.8 \text{ m} \times 0.6 \text{ m} \times 24 \text{ kN/m}^3$   
(per pad)  $= 35.4 \text{ kN}$

$35.4 \text{ kN} / (0.8 \text{ m} \times 0.8 \text{ m}) = 55 \text{ kPa} < 100 \text{ kPa}$  OK



IN uPVC Ø65 mm

5. NOTES:

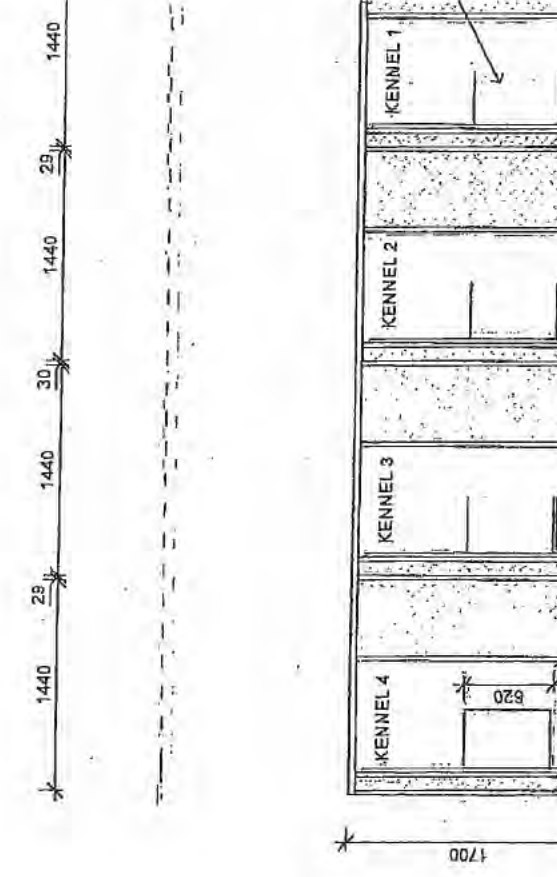
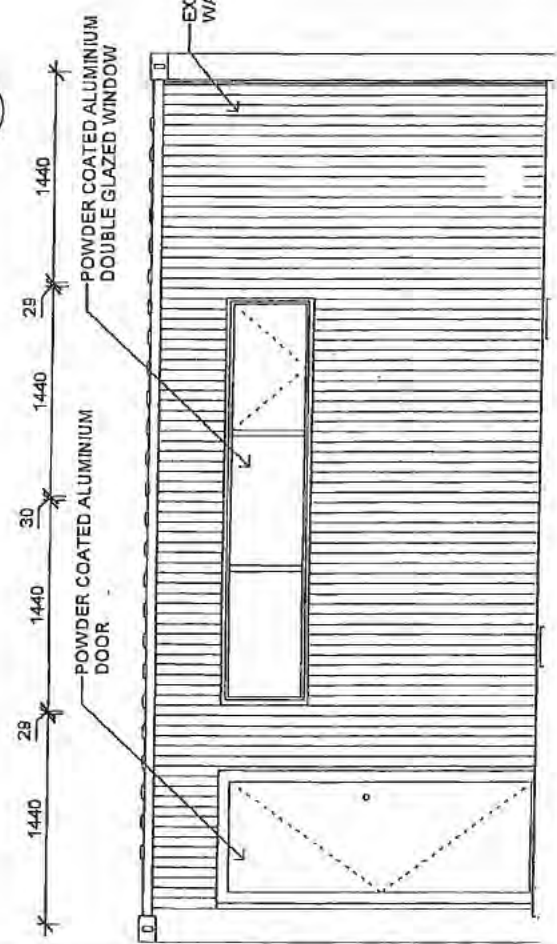
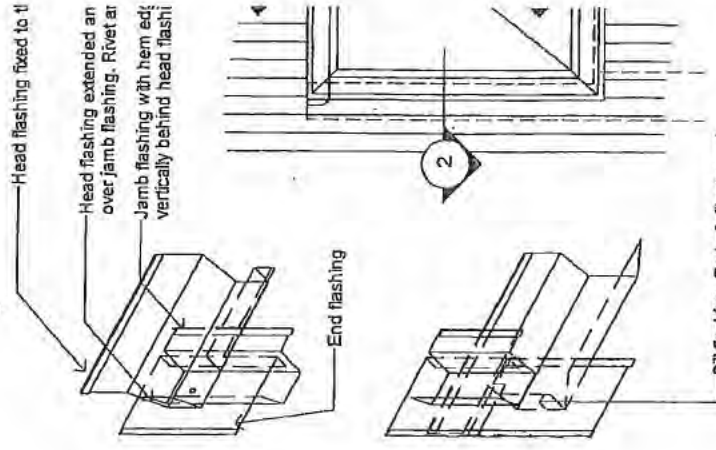
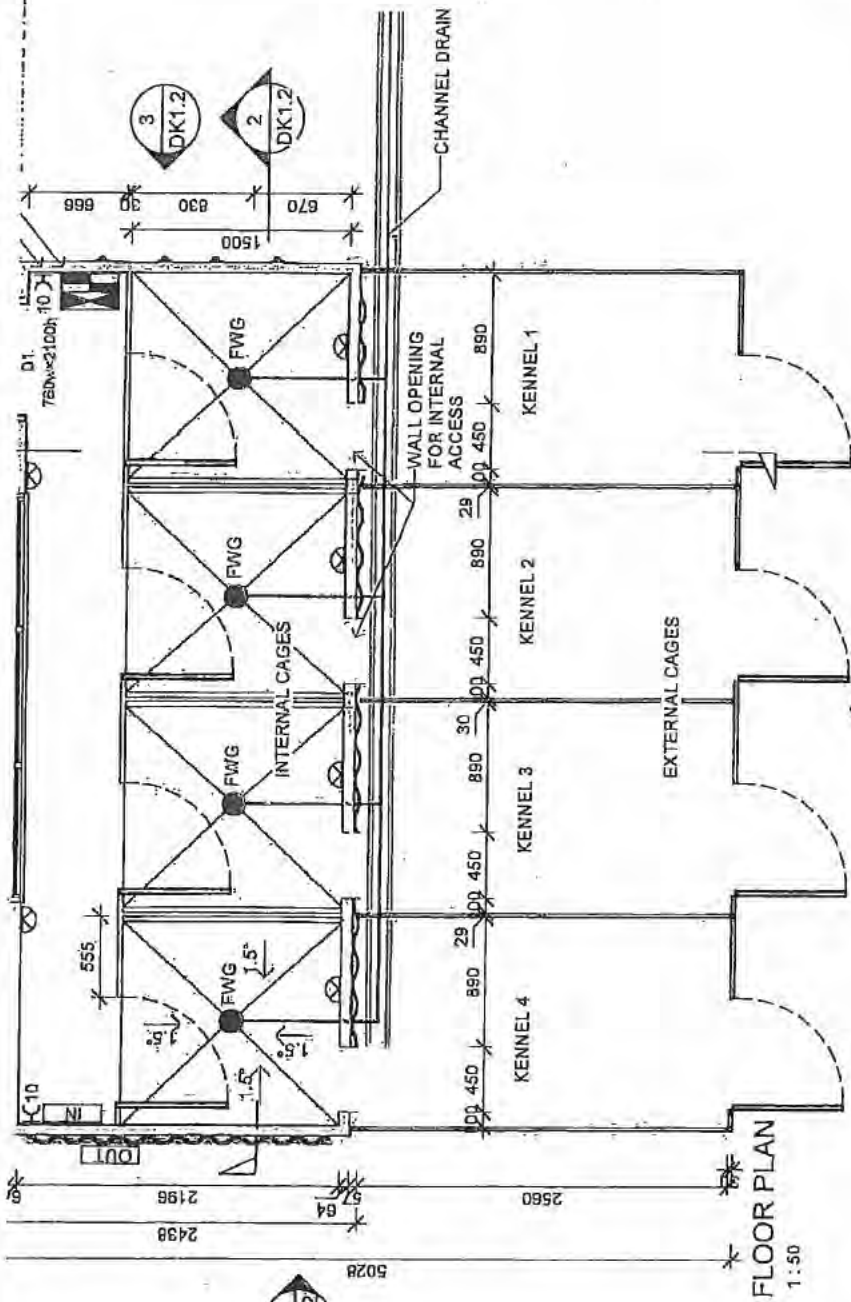
ARRIED OUT IN REGULATIONS SHALL SUPPLY AT THE

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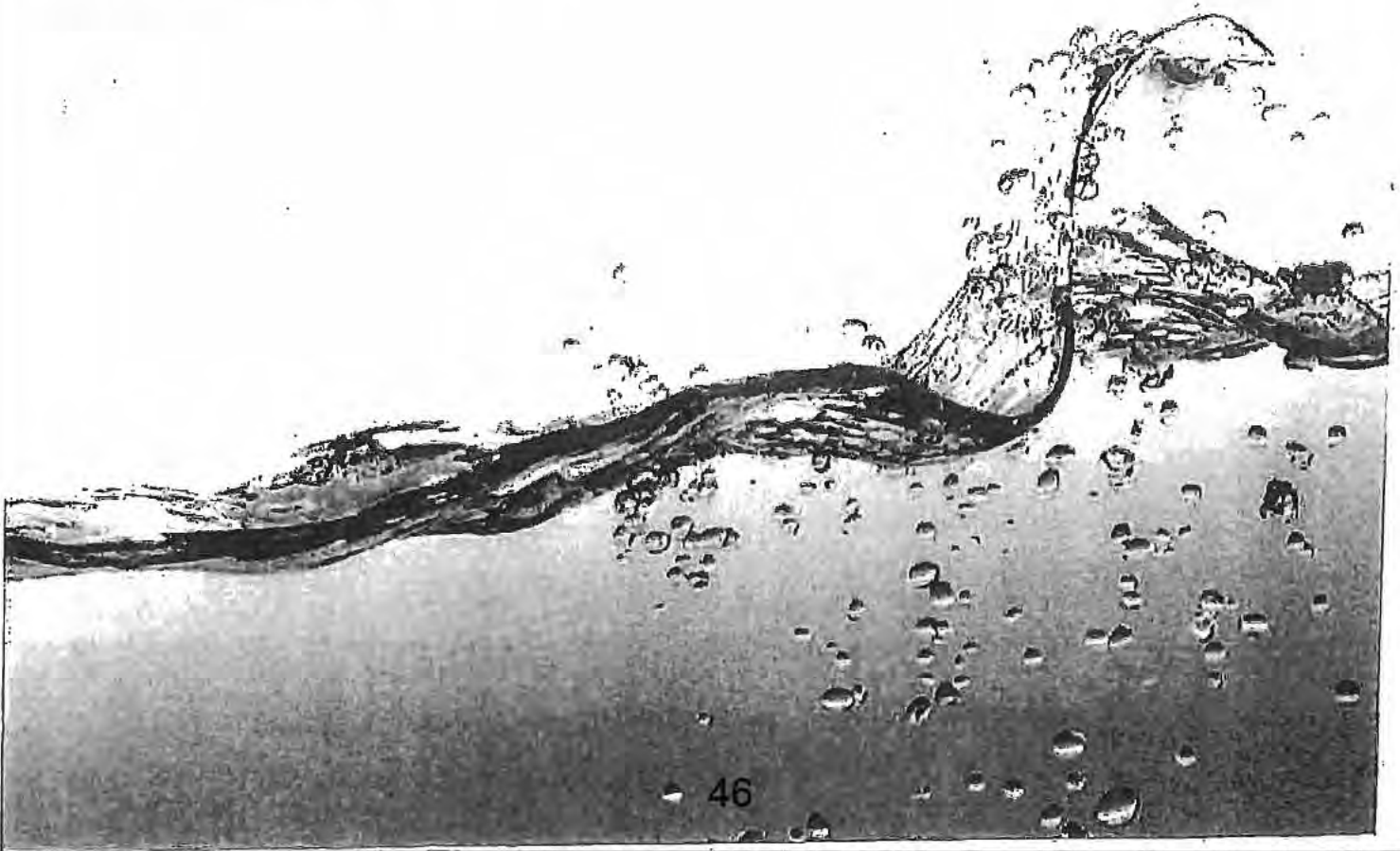
45



**Site Assessment Report 221004, November 2022**  
**for Soldiers Settlement Road, Featherston**



Sustainable development, energy,  
and environmental consultants



Discretionary exemption approved 30/11/2022 - Building Act Schedule 1 Exemption 2

Site Assessment Report, November 2022, Soldiers Settlement Road, Featherston

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2. Summary of overall site assessment procedure ..... 3

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    3.2. Groundwater ..... 4

    3.3. Flood zones ..... 5

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    3.5. Land Use Classification ..... 7

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5. Climate change Impacts ..... 8

6. Wastewater design loading rate (DLR) ..... 8

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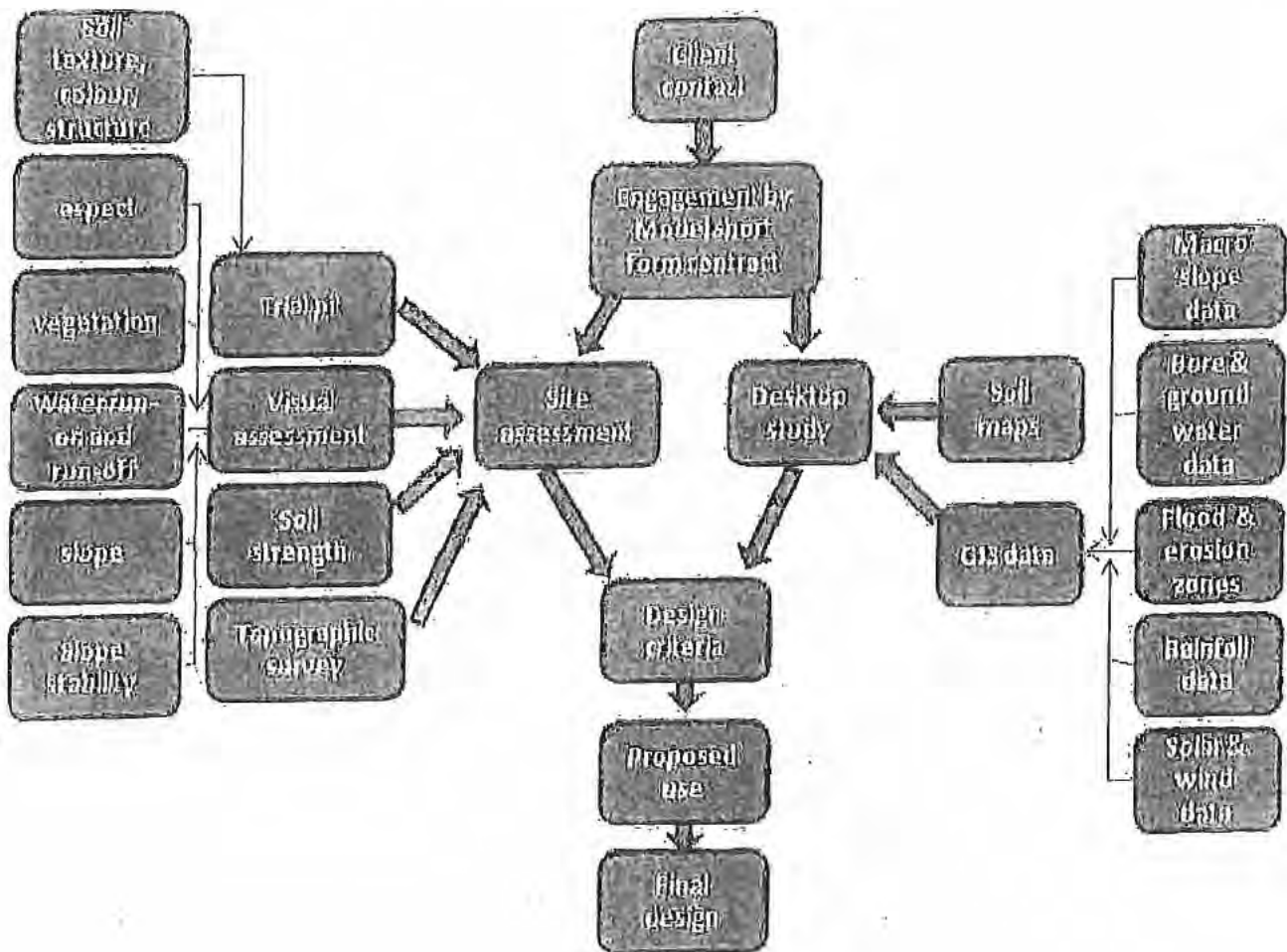


Site Assessment Report. November 2022, Soldiers Settlement Road, Featherston

## 1. Introduction

A proposed dog pound requires an on-site wastewater system. This site assessment report details information required for the wastewater system design. It accompanies the wastewater design drawings. Other pertinent information gained during the assessment is also included to assist the client in decision making on the property.

## 2. Summary of overall site assessment procedure



## 3. Desktop study

### 3.1. Fault locations

There are no known faults within 1km of the proposed building area.



Site Assessment Report, November 2022, Soldiers Settlement Road, Featherston

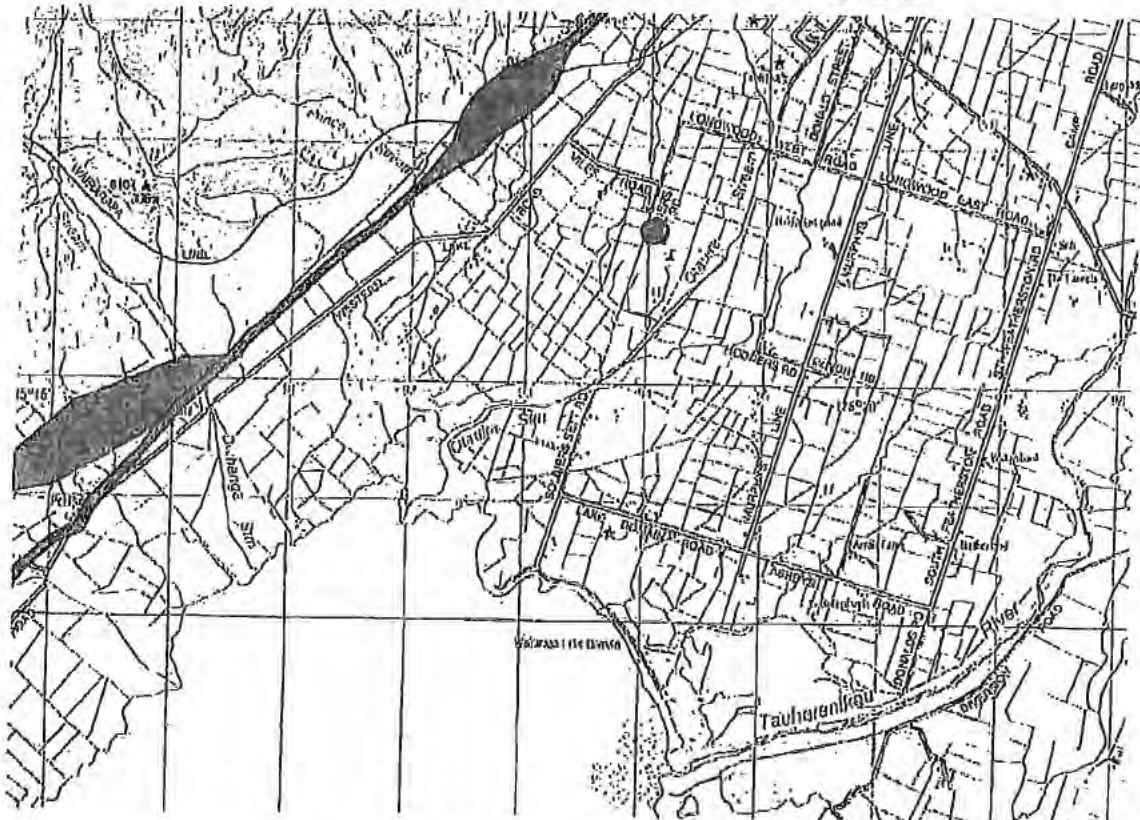


Figure 1 Faultline location relative to the site

### 3.2. Groundwater

There are several registered bores within 1km of the disposal field site. The nearest is more than 100m distant. Groundwater depth is inconsistent, with some bores being artesian, some being shallow unconfined.

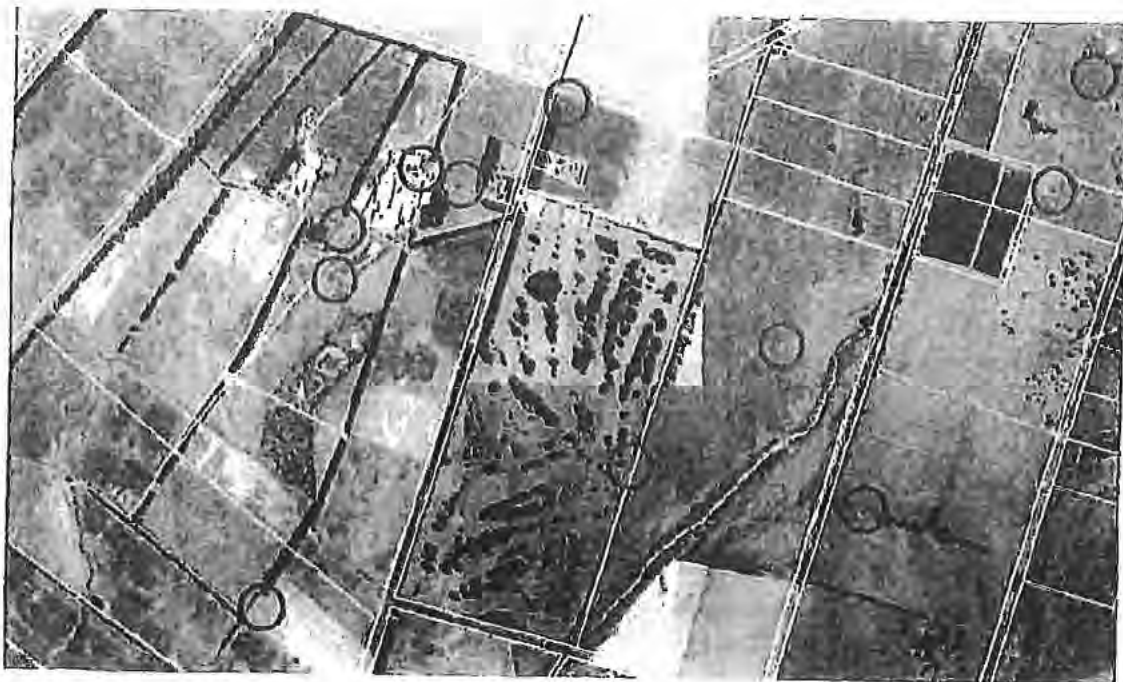


Figure 2 Location nearby bores



Site Assessment Report. November 2022, Soldiers Settlement Road, Featherston

Piezometric contours held by Greater Wellington Regional Council suggest that groundwater flow direction is in a south westerly direction.

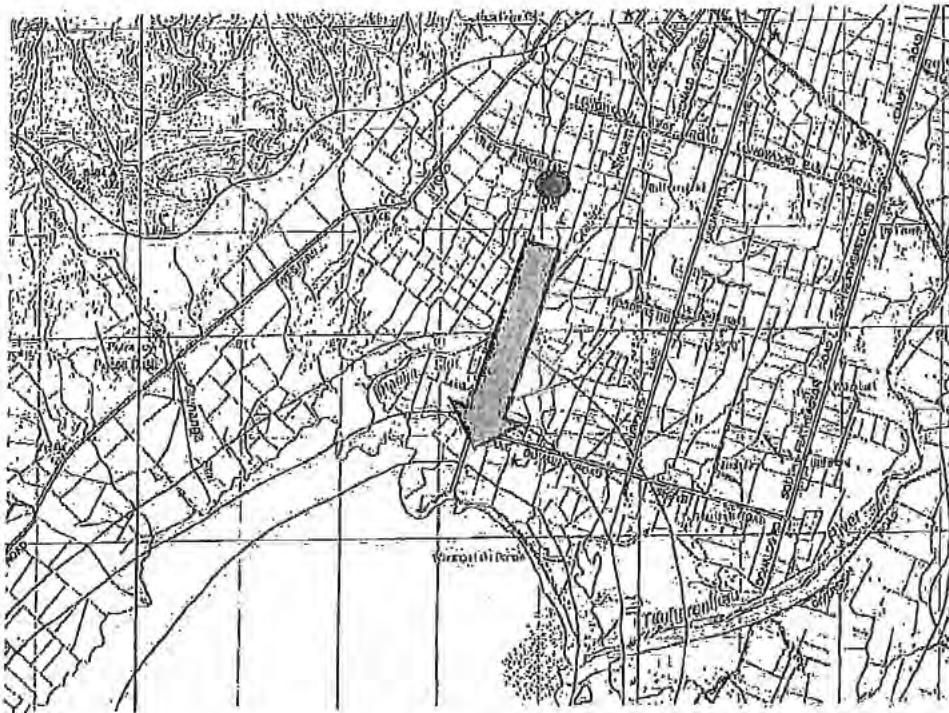


Figure 3 Groundwater piezometric contours and estimated groundwater flow direction

### 3.3. Flood zones

The flood hazard mapping on record at Greater Wellington Regional Council and Masterton District Council show the flood risk zone at some distance from the disposal field area.



Figure 4 Flood risk area



Site Assessment Report. November 2022, Soldiers Settlement Road, Featherston

### 3.4. Soil type

Geological maps indicate Opaki brown stonyloam to dominate in the area under consideration. Silt loams have a wastewater classification of moderately well drained (Standards New Zealand, 2012).

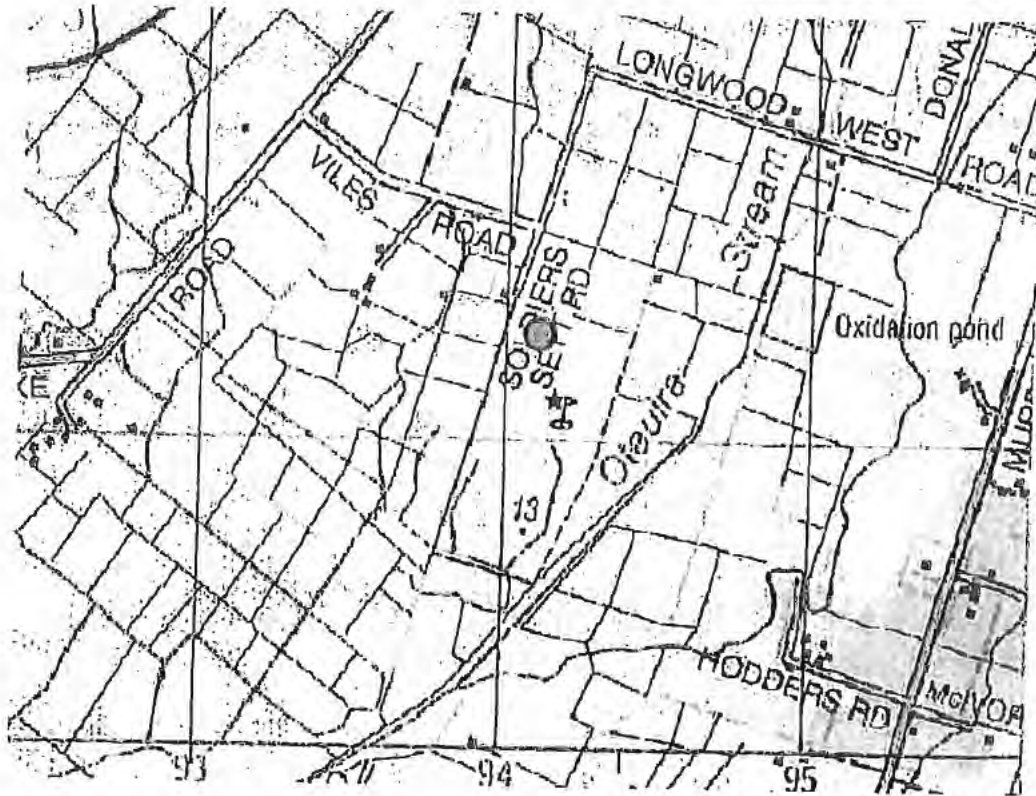


Figure 5 Soil map. Purple shaded area is noted as Opaki stony loam

Site assessment indicated stony silt loam to be dominant at the disposal field site.



Figure 6 Soil inspection showing silt loam

## Discretionary exemption approved 30/11/2022 - Building Act Schedule 1 Exemption 2

Site Assessment Report. November 2022, Soldiers Settlement Road, Featherston

### 3.5. Land Use Classification

The New Zealand Land Inventory system classifies land in terms of slope, erosion, vegetation, and soil type. For this site, the following classification applies:

Yellow/brown soils
Silt loam soils
Max. Slope 2-5 degrees
Negligible erosion
Vegetation – high and low producing pasture

The soil category (NZS1547:2012) is as follows:

Soil Category	Description	
1	Gravel, coarse sand; rapid draining	<input type="checkbox"/>
2	Sandy loams; free draining	<input type="checkbox"/>
3	loams; good drainage	<input checked="" type="checkbox"/>
4	Clay loam: Imperfectly drained	<input type="checkbox"/>
5	light clay	<input type="checkbox"/>
6	Medium to heavy clays	<input type="checkbox"/>

### 3.6. Rainfall

Rainfall across the valley varies greatly, being relatively high in the Tararua and Remutaka ranges given the predominantly westerly wind flow direction, decreasing eastwards. This site is expected to have an average rainfall of 1200-1400mm/year.



Site Assessment Report. November 2022, Soldiers Settlement Road, Featherston

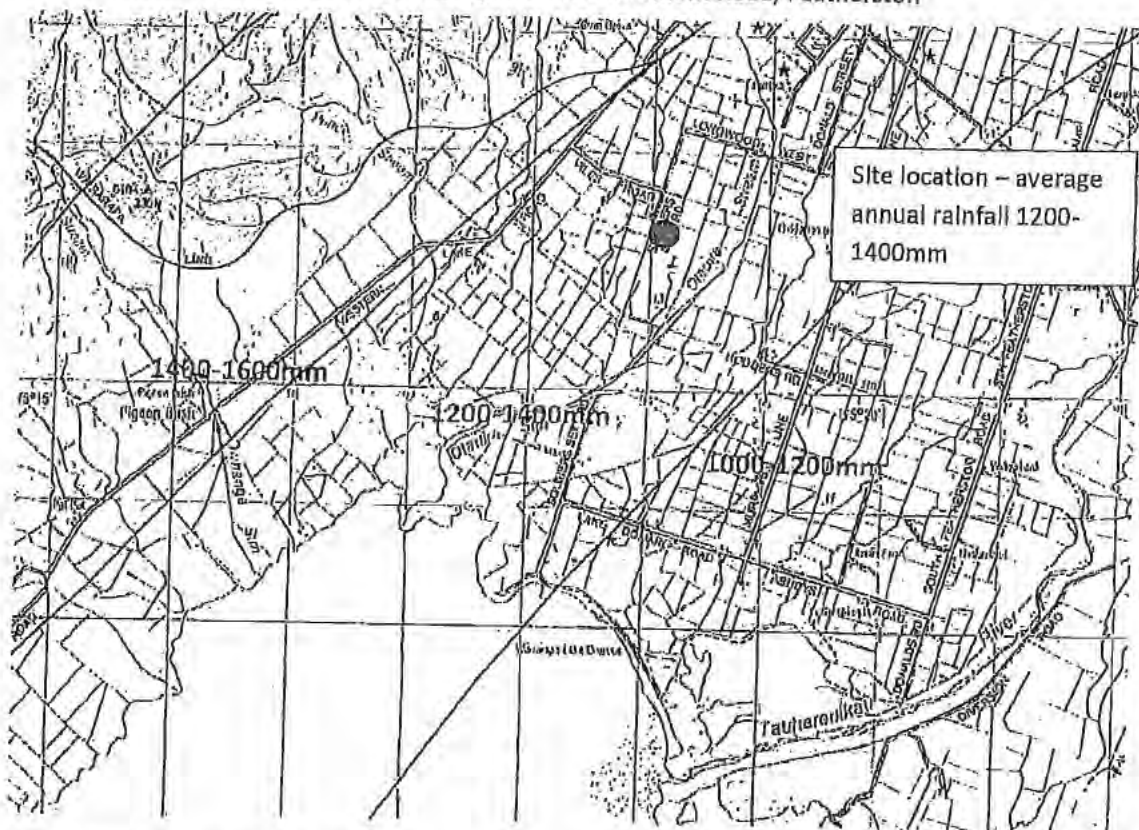


Figure 7 Rainfall Isohyets (black lines) rainfall in mm

#### 4. Soil and soil stability

##### 4.1. Soil Bearing strength

In geotechnical engineering, bearing capacity is the capacity of soil to support the loads applied to the ground. No penetrometer tests were requested.

##### 4.2. Macro soil stability

In addition to bearing capacity, instability on a larger scale can influence the suitability of a site. There are no instability issues on this site.

##### 4.3. Landform, aspect, and exposure

Landform can influence the specific drainage characteristics of a site, moisture levels, surface ponding, water run-on, water run-off, and solar resource. Aspect is southerly at the disposal field. There are no significant run-on or run-off features.

#### 5. Climate change impacts

Climate change predictions are for more extreme events likely in terms of rainfall, temperature, and droughts. There are no clear specific implications for this site.

#### 6. Wastewater design loading rate (DLR).

We estimate wastewater design loading rates at a maximum of 22mm/d (trenches) or 4.0mm/d for dripline (AS/NZS1547:2012)

#### 7. Other land features

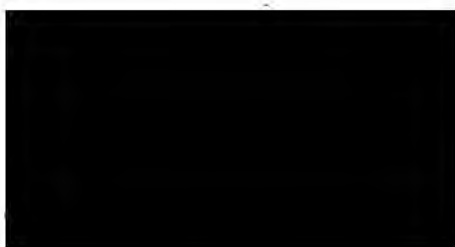
The Wairarapa viewer records show none of the following in the vicinity of the site:

This report is copyright to EQOnz Ltd ©2022 and may not be reproduced without consent. Email: [redacted]@eqo.org.nz  
Tel: [redacted]

## Discretionary exemption approved 30/11/2022 - Building Act Schedule 1 Exemption 2

Site Assessment Report. November 2022, Soldiers Settlement Road, Featherston

High voltage power line	No
Significant water body	No
Archaeological site	No
Geological site	No
Waahi Tapu sites	No
Notable trees	No
Heritage site	No
Outstanding natural feature or landscape	No



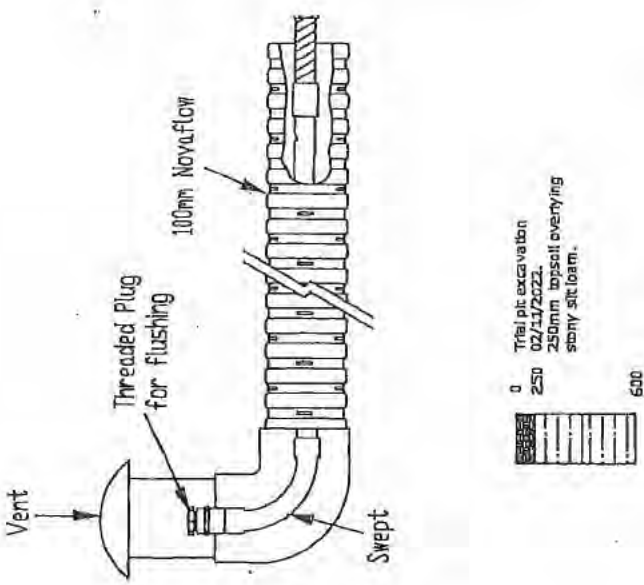
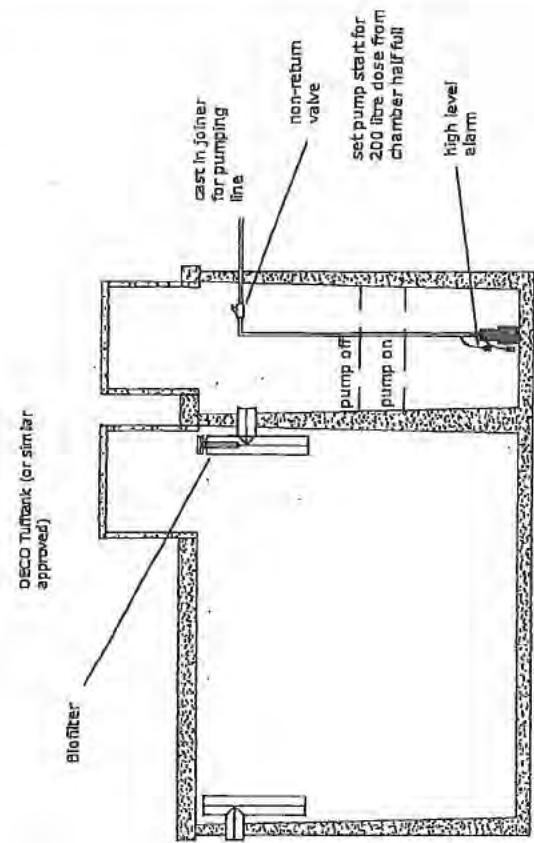
### Works Cited

- Greater Wellington Regional Council. (2000). *Guidelines for on-site sewage systems in the Wellington Region*.
- Pang, L. (2009). Microbial Removal Rates in Subsurface Media Estimated From Published Studies of Field Experiments and Large Intact Soil Cores. *Published In J. Environ. Qual.* 38:1531-1559 (2009).
- Standards New Zealand. (2011). NZS3604:2011 Timber framed Buildings.
- Standards New Zealand. (2012). AS/NZS1547:2012 On-Site domestic wastewater management.



**Notes**

1. This drawing is to be read in conjunction with drawing 221004-1.
2. Effluent disposal trench pipes are to be novalow or similar sloped drainage pipes (100mm dia), laid flat with a 32mm pressure line nested inside with 4mm holes drilled at 1.5m centres. Minimum pump capacity 0.5/2 @ 8.5m head. Do not oversize pump.
3. Sealed effluent upvc pipes from the house to the septic tank should be laid at a minimum grade of 1:80.
4. **NOTES FOR CONTRACTOR**
- 4.1 Never carry out excavation when the subsoil is wet and likely to smear during use of construction equipment.
- 4.2 For any smeared infiltrative surfaces that do occur these should be dug over by hand to prepare the surface.
- 4.3 Where possible avoid moving heavy machinery over both the disposal area and the spaces between beds, trenches etc.
- 4.4 Work should be covered during rainfall to protect infiltrative surfaces from smearing.
- 4.5 Backfilling with sand and media should be carried out with care so as not to damage the sides and base of the trench.
- 4.6 The trench bases should always be laid level and should follow the contours.
- 4.7 Topsoil should be mounded over narrow trenches. Trenches and beds should be lightly compacted and sown immediately with grass.
- 5.0 Pump to have a minimum capability of 5m head at 0.5/2.



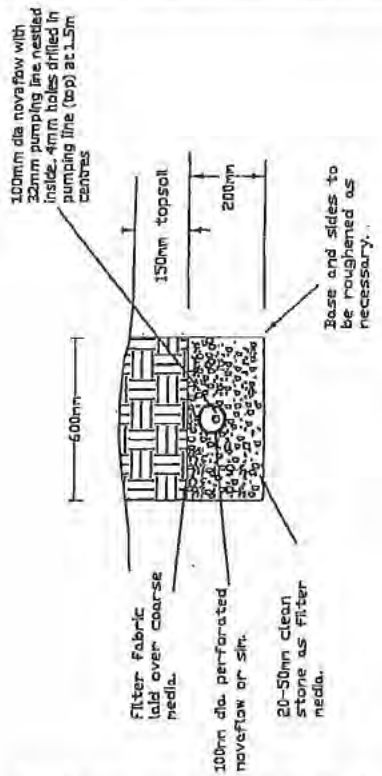
**Featherston Pound**  
**S. Settlement Road,**  
**Featherston**

**Wastewater System**  
**Design**

EO Onz Ltd  
 Tel: [redacted]  
 CP Eng no. ZU949Z  
 email: [redacted]@featherston.govt.nz

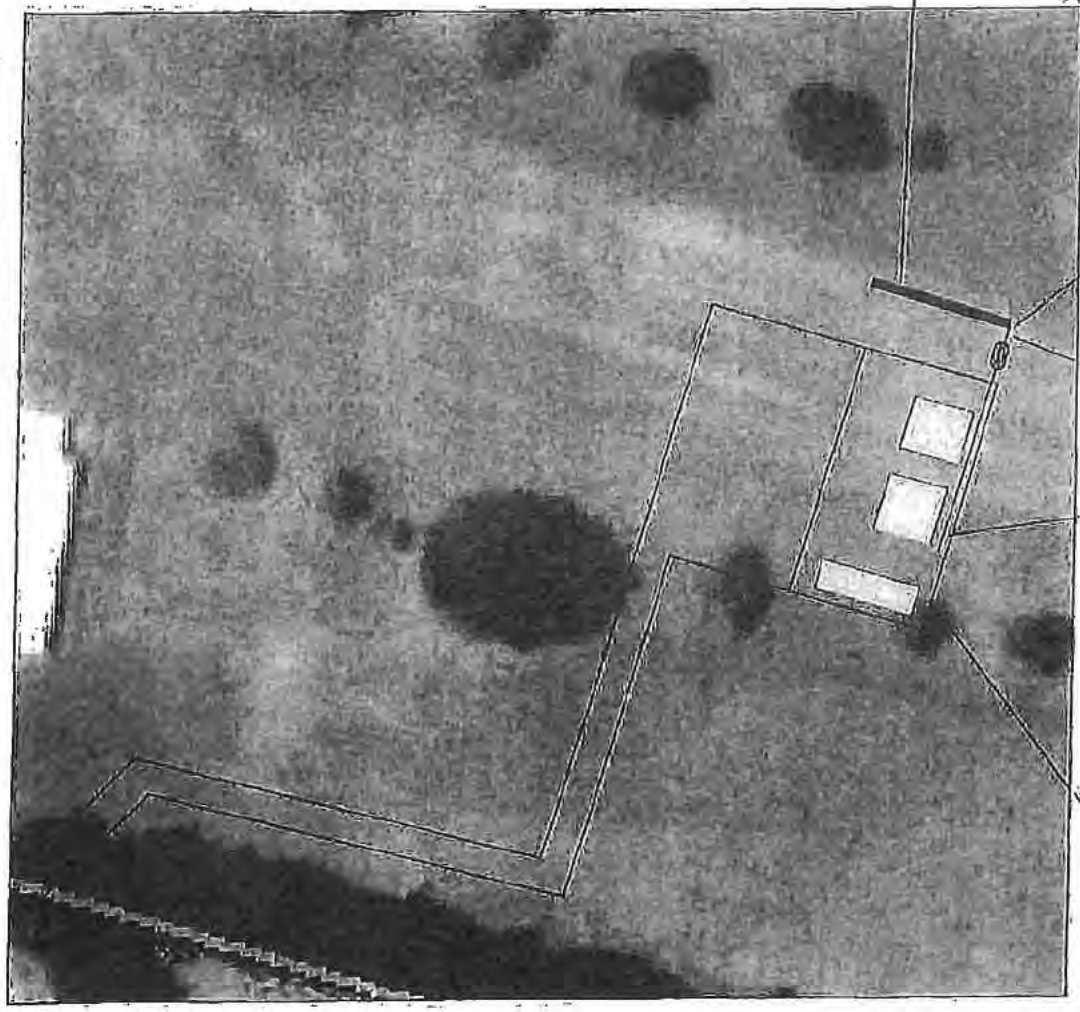
Date: 02/11/22  
 Drawn: AGD Revision: A  
 Scale: not to scale

Drawing No.:  
 221004-2



**Low Pressure Effluent Distribution Trench Details**

Site information					
Grid reference	East ng 1794035 / North ng 5423345				
Soil description	stony silt loam				
Soil Category	3				
Excavation type	Excavator trial pit				
Application Rate	22mm/d				
Slope	0-4 degrees at disposal field				
Rainfall	1200-1400mm/year				
Aspect	southerly				
landform	linear planar				
Set back/distances					
Property Boundary	>20m	Recreational areas	-	bedrock/hardpan	n/a
Habitable Buildings	>5m	in ground water tank	-		
Surface water	>20m	retaining wall/escarpment	-		
Bore/well	>100m	groundwater	>1m		



1 No. low pressure effluent distribution trenches 15m long and 80mm wide dug flat and parallel to the contour. 20m min. boundary separation.



### Design Notes

This design has been produced with reference to 'On Site Wastewater Disposal from Households and Institutions' by Ian Gunn, and AS/NZS1546:2008.

The proposed facility is a dog pound on a roofwater supply. SWOC has identified a daily wastewater flow allowance of 200 litres on average for 100 days per year from washdown of the kennel areas. Faeces are to be removed and disposed of separately. Primary treatment with even effluent disposal is an appropriate method. A standard septic tank (min. 3500 litres) with mid-tank blifter and integral 1000 litre pump chamber is required and must be compliant with AS/NZS1546:2008 - a Deco T45FP Turbantor or similar approved. A design loading rate of 20m<sup>3</sup>/d is assumed, giving a required disposal field area of 3m<sup>2</sup>. Adopt 1No. low pressure effluent seepage trenches 15m long and 80mm wide dug flat. Limiting the disposal daily volume to 200 litres will reduce the energy load on the solar supply system.

1. This drawing is to be read in conjunction with drawing 221004-2.
  2. Site plan based on aerial photography.
  3. General Operation and Maintenance for the continued operation of the disposal field the following suggestions should be taken into account.
    - a) DO scrape all dishes to remove fats and grease.
    - b) DO keep all possible solids out of the system.
    - c) DON'T use garbage grinders.
    - d) DON'T pass sanitary napkins etc into the system.
    - e) DO conserve water.
    - f) DON'T use powerful bleaches or pour paint etc down the drain.
    - g) DO have the tank pumped out on a regular basis (every three to five years is average)
    - h) DO clean filters in accordance with the manufacturers' recommendations.
  4. All fixtures, fittings, vent pipes, and other features required by the building code and not indicated on the drawings are to be fixed as standard by the drafter. All draining work to be to G13/AS2, AS/NZS1546, or acceptable solutions under AS/NZS3500.2.2.
  5. Drafter should outline operation of the system to the homeowner, and show filter cleaning procedure etc where applicable.
  6. All system components are to be sealed against ground and surface water infiltration.
- trial pit

**Featherston Pound**  
**Settlement Road,**  
**Featherston**

**Wastewater System**  
**Design**

**BQOnz Ltd**  
 Tel: [Redacted]  
 [Redacted]@bqonz.co.nz

Date: 2/11/22  
 Drawn: AGD Revision: B  
 Scale: 1:500@A3

Drawing No.:  
 221004-1B





# APPLICATION FOR A DISCRETIONARY EXEMPTION FROM BUILDING CONSENT

Building Act 2004 – Schedule 1, exemption (2)

A building consent exemption under Schedule 1(2) of the Building Act 2004 is the formal decision issued by a territorial authority confirming a building consent is not required for the intended building works.

Send or deliver your application to: **The Building Department,  
South Wairarapa District Council, 19 Kitchener Street, Martinborough 5711**

Type directly on this form, or download and fill in a paper copy.

## PART 1 – APPLICATION (SELECT TYPE APPROPRIATELY)

I request that you issue an exemption on the basis:

The completed work is likely to comply with the building code if it is carried out in accordance with the proposal.

If the completed work were not to comply with the building code, it would unlikely endanger any people of building provided it is carried out in accordance with the proposal.

I request that you send the approved document to me via:

mailed  collected  emailed

Cultural or heritage significance

Does the building or site have any cultural or heritage significance, or is it a marae?  yes  no

## The building (PROJECT LOCATION)

Building name (if applicable) Animal Facility

Building street address 23 Viles Road, Featherston

Location of building within the site (include nearest street access) 61 metres south of access point

Legal description of land where the building is located. If a subdivision of the land is proposed provide the lot numbers and consent number

Lot(s) 2

DP(s) 28698

Area (in square metres)

Proposed new floor area: 45.9

**The owner (MUST BE COMPLETED FOR ALL APPLICATIONS AND ALL DETAILS MUST BE THE OWNER'S)**

Owner's name. If the owner is a company or other organisation provide the company or organisation name and a contact person's name

Name: SWDC - Harry Wilson

Owner's mailing address 19 Kitchener St, Martinborough

Street address/registered office

Owner's contact details

Landline 063069611

Mobile

After hours

Fax

Email reg@swdc.govt.nz

Website

**Agent (only required if application is being made on behalf of the owner)**

Name of agent. If application is for a company, trust or other organisation provide a contact person's name

Name

Agent's mailing address

Street address/registered office

Agent's contact details

Landline:

Mobile:

After hours:

Fax:

Email:

Website:

First point of contact (mark boxes as appropriate and provide details of any other points of contact)

Further information  Agent  Owner  Other

Correspondence  Agent  Owner  Other

Invoicing  Agent  Owner  Other



Application	
Signed by the owner	OR Signed by the agent (on behalf of, or with the authority from, the owner)
Signature <i>R. O'Leary</i>	Signature
Name <i>RUSSELL O'LEARY</i> <i>GROUP MANAGER.</i>	Name
Date 30/11/22	Date

**Privacy information**

The information you have provided on this form is required so that your application can be processed under the Building Act 2004. The Council collates statistics relating to issued consents and has a statutory obligation to forward these regularly to Statistics New Zealand. The Council stores the information on a public register, which must be supplied (as previously determined by the Ombudsman) to whoever requests the information.

Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

**PART 2 – PROJECT**

**General information**

Description of the building work (provide sufficient description to enable full understanding of the scope of the work).  
 Foundation for new animal facility

Will the building work result in a change of use of any part of the building? (If yes, provide details of the new use)  
 Yes  No

Intended life of the building stated in years, only if intended to be less than 50 years old

Estimated value of the building work on which the building levy will be calculated (including goods and services tax) [state estimated value as defined in section 7 of the Building Act 2004].  
 \$10,000

**PART 3 – EXEMPTION DETAILS**

**Means of compliance:** (Specify the standards, acceptable solutions, or MBIE guidance documents that may apply)  
 B1, B2, E1

**Design responsibilities:** (Who is carrying out the design work? What qualifications and experience do they have to carry out work of this complexity)  
 [REDACTED], CPEng, carried out site assessment report for drainage works associated with onsite wastewater disposal for animal waste  
 Foundation design for container building carried out by SMC Design Studio with PS1 issued by [REDACTED], CPEng.

**Construction responsibilities:** (Who is carrying out the building work? What qualifications and experience do they have to carry out work of this complexity?)  
 1Geotechnical for construction and Pope and Gray for drainage work

**Quality Assurance:** (For example, a summary of any QA system used, including details, including details of site inspections by architect, designer, engineer, site supervisor, etc.)  
 All work will be overseen by 1Geotechnical

**SUPPORTING DOCUMENTS**

**Address (PROJECT LOCATION)**

**Attachments** Please provide one copy of the information relevant to the project.

Application form (original)	<input checked="" type="checkbox"/>		<input type="checkbox"/> Checked
Relevant drawings	<input checked="" type="checkbox"/>		
Specifications	<input checked="" type="checkbox"/>		
Product Information	<input type="checkbox"/>		
Any other relevant information	<input type="checkbox"/>		
Application fee	<input type="checkbox"/>		



**Office Use**

BC Exemption:    Accepted     Refused

Reason for acceptance or refusal:

Owner advised in writing of outcome:    Yes

Signed:

Date:

# APPLICATION FOR PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT (FORM 2)

Section 33 or 45, Building Act 2004

**THIS IS A PDF FILL-IN FORM COMPATIBLE WITH MOST PDF VIEWERS. IF YOU ENCOUNTER DIFFICULTY WITH ANY OF THE CONTROLS, TRY USING A DIFFERENT PDF VIEWER. CHROME IS FREE TO DOWNLOAD AND COMPATIBLE WITH THIS FORM.**

## HOW IT WORKS

All building work done in New Zealand must comply with the Building Code, and a building consent is often needed. Some building work is exempt from needing a consent. For more information go to [www.building.govt.nz](http://www.building.govt.nz)

Commercial and multi-unit building work will also need careful planning and may have additional requirements.

Your council can tell you about any district or regional plans that may require you to get resource consent or other permits.

## WHEN YOU NEED A BUILDING CONSENT

The following list is a summary of building work that will need a consent, but you should always check with your local council to confirm.

- structural building - including additions, alterations, re-piling and some demolitions
- plumbing and drainage where an additional sanitary fixture is created
- relocating a building
- installing a wood burner
- retaining walls higher than 1.5 metres
- fences or walls higher than 2.5 metres, and all swimming pools and their associated fences
- decks, platforms or bridges more than 1.5 metres above ground level
- sheds greater than 30 m<sup>2</sup> in floor area (restrictions apply to sheds between 10 and 30 m<sup>2</sup>).

You are breaking the law if you carry out building work that is not exempt and does not have a building consent. You may be fined up to \$200,000 and, if work continues, a further fine of up to \$20,000 for every day or part-day during which the offence continues.

Your council can also issue you a notice to fix for carrying out building work without consent, including instant fines of up to \$1,000. They can remove the building work if it is dangerous or insanitary.

## HOW TO APPLY

As a minimum, the documents listed below must be included in your application. Depending type of application, additional documents might be required or requested while the Council/Territorial Authority (TA)/Building Consent Authority (BCA) process your application.

- Proof of ownership
- Detailed drawings and plans
- Specifications.

## HOW TO SUBMIT YOUR APPLICATION

Check with the Council/TA/BCA you are applying to for more information on how to submit your application. Electronic submissions may be available with the relevant Council/TA/BCA on the [simpli.govt.nz](http://simpli.govt.nz) website.



# APPLICATION FOR PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT (FORM 2)

Official Use Only

Section 33 or 45, Building Act 2004

## 1. WHAT ARE YOU APPLYING FOR?

- Building Consent  
 Amendment to Building Consent  
 Project Information Memorandum (PIM) *complete only sections 1-6 and 10-12*  
 Staged Building Consent - Stage number \_\_\_\_\_ of \_\_\_\_\_ expected number of stages.  
 Building Consent for a National Multi-use Approval (MultiProof) - MultiProof Number \_\_\_\_\_

List PIM, building and resource consents related to this project (if any):	Consent Number	Description

Have you discussed your application with the Council / BCA before making this application?  No  Yes - provide details

Are you applying for Owner-Builder exemption to complete the Restricted Building Work?  
*If Yes, complete and attach the 'Statutory Declaration as to Owner Builder Status (Form 2B)'.  
 If No, complete and attach the 'Memorandum from Licensed Building Practitioner: Certificate of Design Work (form 2A)'.*  No  Yes

## 2. PROPERTY INFORMATION

<b>Street address of the building:</b> <i>For structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection</i>		<b>Location of building within the site/block number:</b>	61metres south of access point on Viles road.
23 Viles Road, Featherston		<b>Current, lawfully established use:</b> <i>Include the number of occupants per level and per use if more than 1. If the use was changed by the building work, state previous use</i>	Establishment of Animal Facility commonly known as a Pound.
<b>Legal description of the land where the building is located:</b> <i>State legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent</i>		<b>Area:</b> <i>Total floor area. Indicate area affected by the building work if less than the total area</i>	45.9 m <sup>2</sup>
Lot:	2	<b>Current number of levels:</b>	1
DP:	28698 BLK III WAIRARAPA SD	<b>Current number of levels below ground:</b>	zero
Building Name:		<b>Year first constructed:</b> <i>Insert year. An approximate date is acceptable, e.g. the 1920s or 1960-1970</i>	2022
Level/ Unit number:			

### 3. OWNER AND AGENT INFORMATION

Owner		Agent <i>If the application is made on behalf of the owner</i>	
Name of Owner: <i>Include title</i>	South Wairarapa District Council	Name of Agent:	
Contact person: <i>If not an individual</i>	Harry Wilson	Contact person: <i>If not an individual</i>	
Email:	reg@swdc.govt.nz	Relationship to owner:	
Mobile:		Email:	
Alternative Phone:	06 306 9611	Mobile:	
Street address:	19 Kitchener Street, Martinborough	Alternative Phone:	
Mailing Address: <i>If different from street address</i>		Street address:	
		Mailing Address: <i>If different from street address</i>	

The first point of contact:	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Who should we contact for invoicing?	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Payee name for invoicing:		

### 4. WHO IS INVOLVED?

In addition to the Designer, Architect and Engineers, provide the details of all licensed building practitioners who will be involved in carrying out or supervising the restricted building work. If these details are unknown at the time of the application, they must be supplied before the work begins. If you have additional roles to add, please use the table in Appendix A.

Name:		Entity or Company:	
Licensing class/ Role:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:



Name:		Entity or Company:	
Licensing class/ Role:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

### 5. THE SPECIFICS OF THE SITE

What is the wind zone?
<input type="radio"/> Low <input type="radio"/> Medium <input type="radio"/> High <input type="radio"/> Very High <input checked="" type="radio"/> Extra High <input type="radio"/> Specific Design - Value _____
What is the exposure zone?
<input checked="" type="radio"/> Low(B) <input type="radio"/> Medium(C) <input type="radio"/> High / Sea Spray(D)

	Yes	No
Are you building in a zone that requires a land-use Resource Consent?	<input checked="" type="radio"/>	<input type="radio"/>
Does the site have any cultural or heritage significance, or is it a Marae?	<input type="radio"/>	<input checked="" type="radio"/>
Does the proposed building work cover two or more allotments?	<input type="radio"/>	<input checked="" type="radio"/>
Is it a sub-division?	<input type="radio"/>	<input checked="" type="radio"/>
Is the subdivision of an existing site involved? If yes, provide details below. <i>If a subdivision is proposed and you have not yet received an s224 certificate, the application will also need to provide any relevant information stating legal description as at the date of application and, if a subdivision is proposed, include details of the relevant resource consent number and any proposed lot numbers.</i>	<input type="radio"/>	<input checked="" type="radio"/>
Is the building work over or adjacent to any road or public place?	<input type="radio"/>	<input checked="" type="radio"/>
Is there new or altered access for vehicles?	<input checked="" type="radio"/>	<input type="radio"/>
Are there new or altered connections to public utilities?	<input type="radio"/>	<input checked="" type="radio"/>
Are there public drains on the site?	<input type="radio"/>	<input checked="" type="radio"/>
Does the building work involve the disposal of stormwater or wastewater?	<input checked="" type="radio"/>	<input type="radio"/>
Is the building work over any existing drains or sewers or in close proximity to wells or water mains?	<input type="radio"/>	<input checked="" type="radio"/>
Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination?	<input type="radio"/>	<input checked="" type="radio"/>
Are there any alterations to land contours (e.g. earthworks)?	<input checked="" type="radio"/>	<input type="radio"/>
Are there new or altered locations and/or external dimensions of buildings?	<input checked="" type="radio"/>	<input type="radio"/>
Are there any other matters known to the applicant that may require authorisation from the Territorial Authority? Provide details below	<input type="radio"/>	<input checked="" type="radio"/>
Details from any of the above questions:		

## 6. DETAIL OF THE BUILDING WORK

<b>What building work are you doing?</b> <i>Select all that apply</i>	
<b>Residential:</b>	
<input type="checkbox"/> New detached dwelling <input type="checkbox"/> New Multi-residential dwelling <input type="checkbox"/> Plumbing works <input type="checkbox"/> Major alterations/additions ( <i>altering or attaching to the exterior of a building</i> )	<input type="checkbox"/> Minor alterations ( <i>only internal work</i> ) <input type="checkbox"/> New or relocation of a solid fuel burner <input type="checkbox"/> Garage / detached carport <input type="checkbox"/> Other ( <i>provide detail below</i> )
<b>Commercial:</b>	
<input type="checkbox"/> New commercial / industrial building <input type="checkbox"/> Seismic strengthening <input type="checkbox"/> Major alterations/additions ( <i>altering or attaching to the exterior of a building</i> )	<input type="checkbox"/> Minor alterations ( <i>only internal work</i> ) <input type="checkbox"/> Internal fit-out ( <i>Including plumbing and ventilation</i> ) <input checked="" type="checkbox"/> Other ( <i>provide detail below</i> ) Foundations for new animal facility

<b>Short description of the building work:</b> <i>E.g. 4 Bedroom dwelling with multiple cladding types and attached garage. Limited to 340 characters.</i>	Foundation for new animal facility		
<b>Does the project include Restricted Building Work?</b>	<input checked="" type="radio"/> No <input type="radio"/> Yes	<b>Proposed new total floor area:</b>	45.9 m <sup>2</sup>
<b>Number of levels after building work:</b>	1	<b>Number of levels below ground, after building work:</b>	zero
<b>What is the intended life of the building?</b>	<input checked="" type="radio"/> 50+ years <input type="radio"/> Limited life	<b>Intended life of the building if 50 years or less:</b>	years
<b>Does the building work involve a swimming pool?</b>	<input checked="" type="radio"/> No <input type="radio"/> Yes		
<b>Proposed use:</b> <i>Building code clause A1 classified uses</i>	<input type="radio"/> Housing Detached dwellings    Multi-unit dwellings    Group dwellings <input type="radio"/> Communal Residential Community care unrestrained    Community care restrained Community service <input type="radio"/> Communal Non-Residential Assembly Service    Assembly care <input type="radio"/> Commercial <input type="radio"/> Industrial <input checked="" type="radio"/> Outbuildings <input type="radio"/> Ancillary		
<b>The estimated value of the building work:</b> <i>If an amendment, capture the original value of work. Capture the additional value in the next field.</i>	\$ 10,000 <i>Inc GST</i>	<b>If an amendment to a consent, what is the additional value?</b>	\$ <i>Inc GST</i>
<b>Will the building work result in a change of use?</b>	<input checked="" type="radio"/> No <input type="radio"/> Yes - If Yes, please provide details of the new use:		



Will there be any recladding?	<input checked="" type="radio"/> No	<input type="radio"/> Yes
Is this application related to a claim under the WHRS <sup>1</sup> or FAP <sup>2</sup> scheme? <small><sup>1</sup>Weathertight Homes Resolution Service <sup>2</sup>Leaky Homes Financial Assistance Package</small>	<input checked="" type="radio"/> No	<input type="radio"/> Yes - If Yes, please provide the WHRS / FAP reference number(s):

Is your building consent application of a type defined in Gazette Notice <sup>1</sup> and section 46 of the Building Act 2004? <small>Certain applications for building consent must be submitted to Fire and Emergency New Zealand's Fire Engineering Unit (FEU) for review. <sup>1</sup>(New Zealand Gazette, 3 May 2012, Issue 49 page 1406)</small>	<input checked="" type="radio"/> No <input type="radio"/> Yes
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### 7. SOLID FUEL BURNER INFORMATION

Does this application include the installation of a new or relocation of a solid fuel burner?

Yes       No – Go to section 8

Make of the heater/burner:		Model of the heater/burner:	
Design:	<input type="radio"/> Freestanding <input type="radio"/> Inbuild	Type of fuel:	
Wetback connection:	<input type="radio"/> New <input type="radio"/> n/a <input type="radio"/> Existing	Hearth construction type:	
Hearth thickness:		Specify the fixings of the hearth:	
What is the floor constructed of?	<input type="checkbox"/> n/a	Specify air gap between hearth and floor:	<input type="checkbox"/> n/a
Height of flue above roof ridge:		Will the installation require new penetration through the roof or exterior wall? <small>If yes, specify the material the penetration will be made through</small>	<input type="radio"/> No <input type="radio"/> Yes
Type of flue kit:		Distance from outer flue shield to framing timbers:	
Will the flue termination be more than 3m from any structure, including neighbours buildings?	<input type="radio"/> No <input type="radio"/> Yes	Will the flue pass through more than one storey?	<input type="radio"/> No <input type="radio"/> Yes

Will the proposed appliance need to be installed closer to combustible material than manufacturers recommendations?	<input type="radio"/> No – continue to section 8 <input type="radio"/> Yes
Distance hearth projects from the front of the heater:	
Distance from the centre of the chimney to the walls:	
Is the heater installed on an angle to the walls?	<input type="radio"/> No <input type="radio"/> Yes
Provide method of wall protection if required:	

**8. THE BUILDING WORK WILL COMPLY WITH THE BUILDING CODE AS FOLLOWS:**

- You are required to indicate what code clause(s) your building work complies with.
- Unless otherwise noted below, your application will be assessed under Acceptable Solutions.
- If you are using another means of compliance, please provide details of the standard(s) that your building work complies with and the means of compliance in the space provided. Use a separate sheet of paper if necessary.
- If you do not provide all the necessary information to show how your application complies with the Building Code, it will be returned unprocessed.

<input checked="" type="checkbox"/> B1 - Structure	<input checked="" type="checkbox"/> B2 - Durability	
<input type="checkbox"/> C1 - Outbreak of fire	<input type="checkbox"/> C2 - Prevention of a fire occurring	<input type="checkbox"/> C3 Fire affecting areas beyond fire source
<input type="checkbox"/> C4 Movement to a place of safety	<input type="checkbox"/> C5 Access & safety for firefighting operations	<input type="checkbox"/> C6 Structural stability
<input type="checkbox"/> D1 Access routes	<input type="checkbox"/> D2 Mechanical Installations for access	
<input checked="" type="checkbox"/> E1 Surface water	<input type="checkbox"/> E2 External moisture	<input type="checkbox"/> E3 Internal moisture
<input type="checkbox"/> F1 Hazardous agents on-site	<input type="checkbox"/> F2 Hazardous building materials	<input type="checkbox"/> F3 Hazardous substances and processes
<input type="checkbox"/> F4 Safety from falling	<input type="checkbox"/> F5 Construction & demolition hazards	<input type="checkbox"/> F6 Visibility in escape routes
<input type="checkbox"/> F7 Warning systems	<input type="checkbox"/> F8 Signs	<input type="checkbox"/> F9 Restricting access to residential pools
<input type="checkbox"/> G1 Personal hygiene	<input type="checkbox"/> G2 Laundering	<input type="checkbox"/> G3 Food preparation & prevention of contamination
<input type="checkbox"/> G4 Ventilation	<input type="checkbox"/> G5 Interior environment	<input type="checkbox"/> G6 Airborne & Impact sound
<input type="checkbox"/> G7 Natural light	<input type="checkbox"/> G8 Artificial light	<input type="checkbox"/> G9 Electricity
<input type="checkbox"/> G10 Piped services	<input type="checkbox"/> G11 Gas as an energy source	<input type="checkbox"/> G12 Water supplies
<input type="checkbox"/> G13 Foul water	<input type="checkbox"/> G14 Industrial liquid waste	<input type="checkbox"/> G15 Solid waste

H1 Energy efficiency

Backcountry Huts

Provide details of all Verification Methods being used. *(Include relevant code clause and means of compliance)*

Provide details of all Alternative Solutions being used. *(Include relevant code clause and means of compliance or details of any waivers and modifications, including code clauses)*



**9. COMPLIANCE SCHEDULE**

Are there any specified systems in the building? Residential cable cars are considered specified systems, see SS16

- Yes  No – Go to section 10

You need to provide information on the specified systems contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent.

For more information on how to complete this section, see MBIE's Compliance Schedule Handbook

What is the existing compliance schedule number? (if applicable)

Risk Group: (for more information, see CAS2)

Total occupancy numbers:

Highest fire hazard category for building use (insert number)

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

Specified System	Existing	Altered	Added / New	Removed	n/a	Performance Standards Acceptable Solution, Verification Method, Standard or specific document	Inspection Procedures may be identified by a written description, or a reference to a Standard or other document	Maintenance procedures may be identified by a written description, or a reference to a Standard or other document	Reporting procedures may be identified by a written description, or a reference to a Standard or other document	Responsibility List persons/companies for the adjacent procedures
SS1 Automatic system for fire suppression	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS2 Automatic or manual emergency warning systems for fire or other dangers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					

Specified System	Existing	Altered	Added / New	Removed	n/a	Performance Standards	Inspection	Maintenance	Reporting	Responsibility
SS3 Electromagnetic or automatic doors or windows	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS3.1 Automatic doors	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS3.2 Access control doors	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS3.3 Interfaced fire or smoke doors or windows	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS4 Emergency lighting systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS5 Escape route pressurisation systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS6 Riser mains for use by fire services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					



Specified System	Existing	Altered	Added / New	Removed	n/a	Performance Standards	Inspection	Maintenance	Reporting	Responsibility
SS7 Automatic backflow preventers connected to a potable water supply	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS8 Lifts, escalators, travellers, or other systems for moving people or goods within buildings										
SS8.1 Passenger-carrying lifts	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS8.2 Service lifts	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS8.3 Escalators and moving walkways	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS9 Mechanical ventilation or air-conditioning systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS10 Building maintenance units providing access to exterior and interior walls of buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS11 Laboratory fume cupboards	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					

SS12 Audio loops or other assistive listening systems

SS12.1 Audio loops	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>						
SS12.2 FM radio frequency and infrared beam transmission systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>						
SS13 Smoke control systems													
SS13.1 Mechanical smoke control	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS13.2 Natural smoke control	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS13.3 Smoke curtains	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS14 Emergency power systems for, or signs relating to, a system or feature specified in SS1-13													
SS14.1 Emergency power systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>				
SS14.2 Signs for systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>				



Specified System	Existing	Altered	Added / New	Removed	n/a	Performance Standards	Inspection	Maintenance	Reporting	Responsibility
SS15 Any or all of the following systems and features, so long as they form part of a building's means of escape from fire, and so long as those means also contain any or all of the systems or features specified in clauses 1 to 6, 9, and 13:										
SS15.1 Systems for communicating spoken information intended to facilitate evacuation; and	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS15.2 Final exits As defined by clause A2 of the building code	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS15.3 Fire separations	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS15.4 Signs for communicating information intended to facilitate evacuation	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS15.5 Smoke separations	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS16 Cable car <i>All buildings with a cable car, including single residential buildings, require a compliance schedule.</i>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					

## 10. HAVE YOU ATTACHED ALL THE REQUIRED DOCUMENTS?

Please include the following document as part of your application. Additional documents might be requested as part of the assessment of your application. Incomplete applications may be returned unprocessed.

### Proof of ownership

- Copy of Record of Title
  - Copy of Lease Agreement
  - Agreement for Sale & Purchase
  - Other document showing the full name of the legal owner(s)
- 
- Project Information Memorandum (PIM)
  - Certificate attached to PIM
  - Development Contribution Notice
  - Plans, specifications and other supporting information *(Include information on the compliance method, e.g. where the work deviates from an Acceptable Solution method.)*
  - Memorandum from Licensed Building Practitioner – Certificate of Design Work (Form 2A)
  - Statutory Declaration as to Owner Builder Status (Form 2B)

## 11. APPLICATION FEES

The Council/ Building Consent Authority (BCA)/ Territorial Authority (TA) will charge a fee for your application and any subsequent work involved in processing your application. The fee will include statutory levies payable to BRANZ and the Ministry of Business, Innovation and Employment.

## 12. ACKNOWLEDGEMENTS

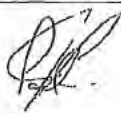
The information you have provided on this form is required so that your application or the building consent it relates to can be processed under the Building Act 2004. The Council, Territorial Authority (TA) or Building Consent Authority (BCA) collates statistics relating to building work and has a statutory obligation to provide information to third parties. The information is stored on a public register, which must be supplied to whoever requests the information. Under the Privacy Act 2020, you have the right to see and correct personal information the Council, TA and BCA hold about you.

In providing this information, you agree to your details being used for customer surveys carried out by the Council, TA or BCA.

All the information contained in the application is, to the best of my knowledge, true and correct.

I request that you issue a project information memorandum, project information memorandum and building consent, or building consent for the building work described in this application.

- I understand that this application is to be assessed against Acceptable Solutions unless otherwise stated in section 8.
- I understand that work must not commence until the building consent is issued and uplifted.
- I understand that this application may only be made with the owner's approval.

Full name:	Paul Gardener (under delegated authority as acting CEO)
Signature: <i>Digital signatures acceptable</i>	
Date:	20/10/2022



**Appendix A – List of those involved in the build**

Complete if additional space is required for Section 4

Name:		Entity or Company:	
Licensing class:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

Name:		Entity or Company:	
Licensing class:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

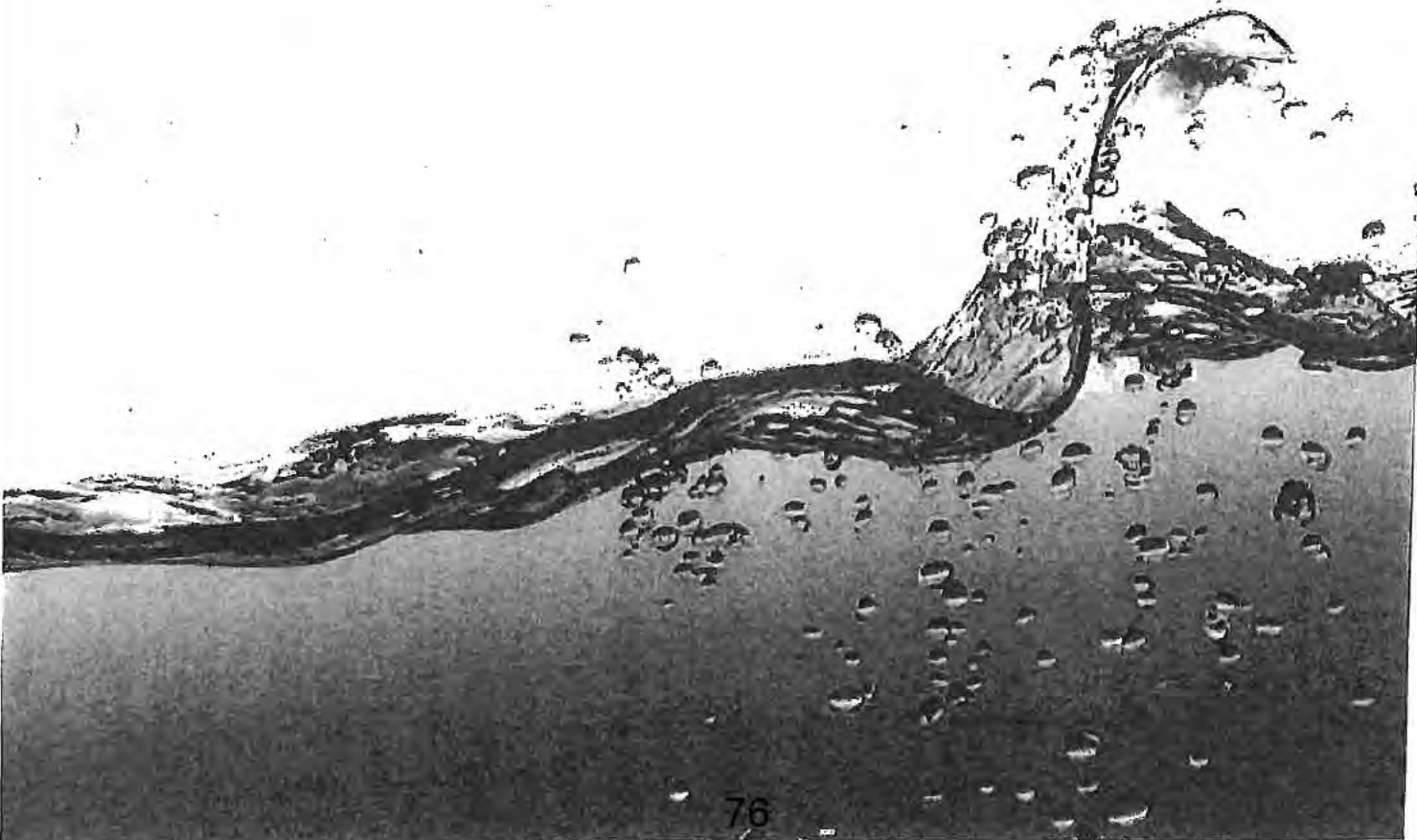
Name:		Entity or Company:	
Licensing class:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

Name:		Entity or Company:	
Licensing class:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

**Site Assessment Report 221004, November 2022**  
**for Soldiers Settlement Road, Featherston**



Sustainable development, energy,  
and environmental consultants





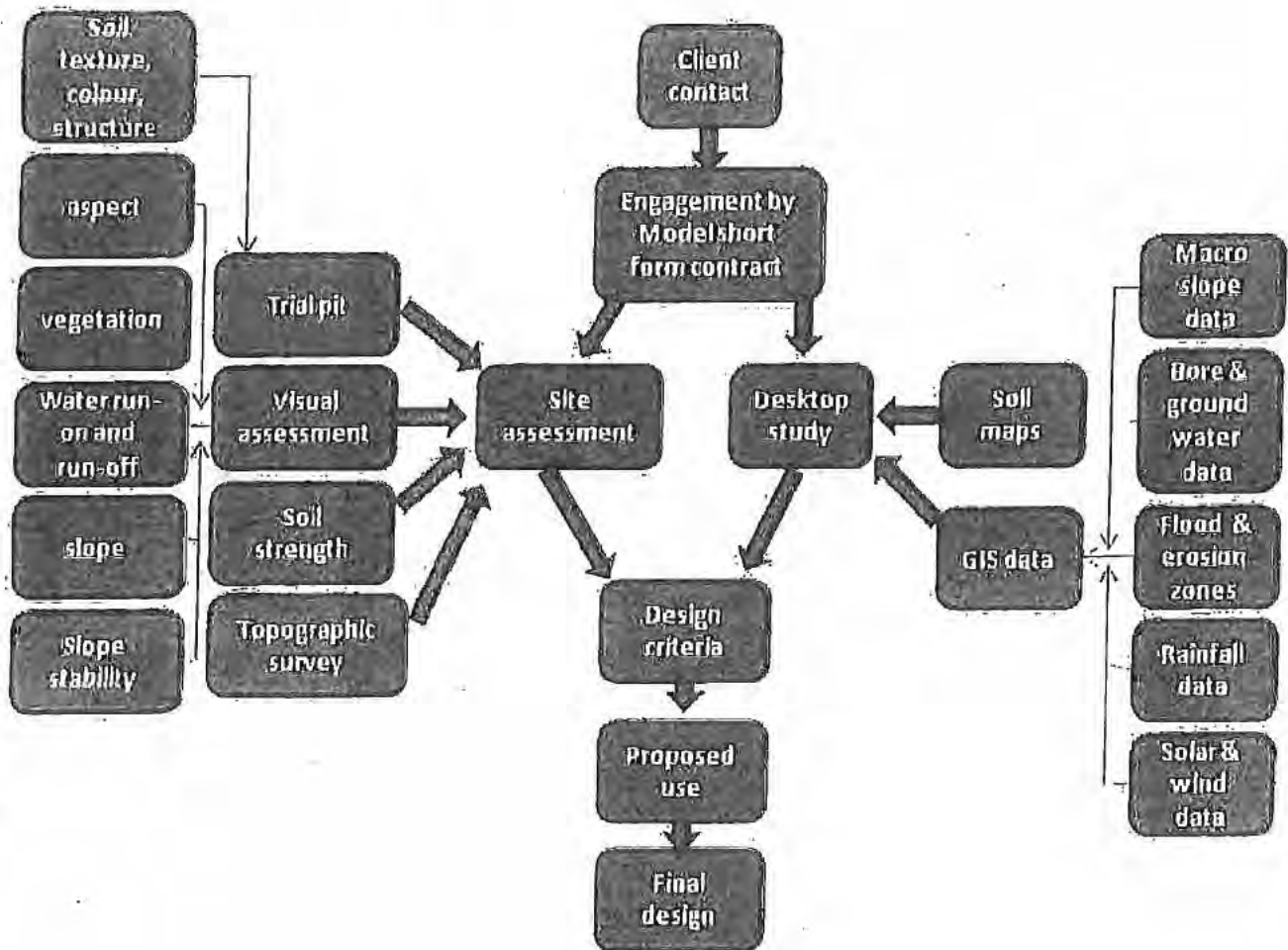
## Contents

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### 1. Introduction

A proposed dog pound requires an on-site wastewater system. This site assessment report details information required for the wastewater system design. It accompanies the wastewater design drawings. Other pertinent information gained during the assessment is also included to assist the client in decision making on the property.

### 2. Summary of overall site assessment procedure



### 3. Desktop study

#### 3.1. Fault locations

There are no known faults within 1km of the proposed building area.



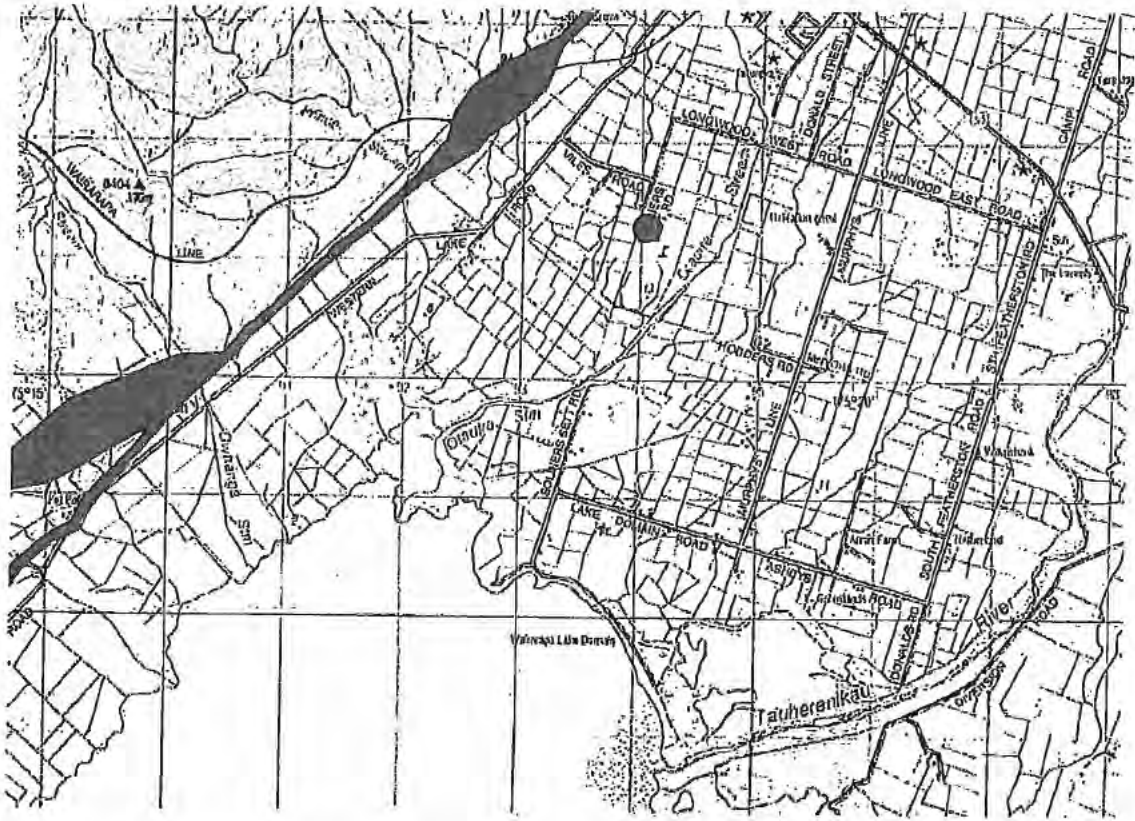


Figure 1 Faultline location relative to the site

### 3.2. Groundwater

There are several registered bores within 1km of the disposal field site. The nearest is more than 100m distant. Groundwater depth is inconsistent, with some bores being artesian, some being shallow unconfined.

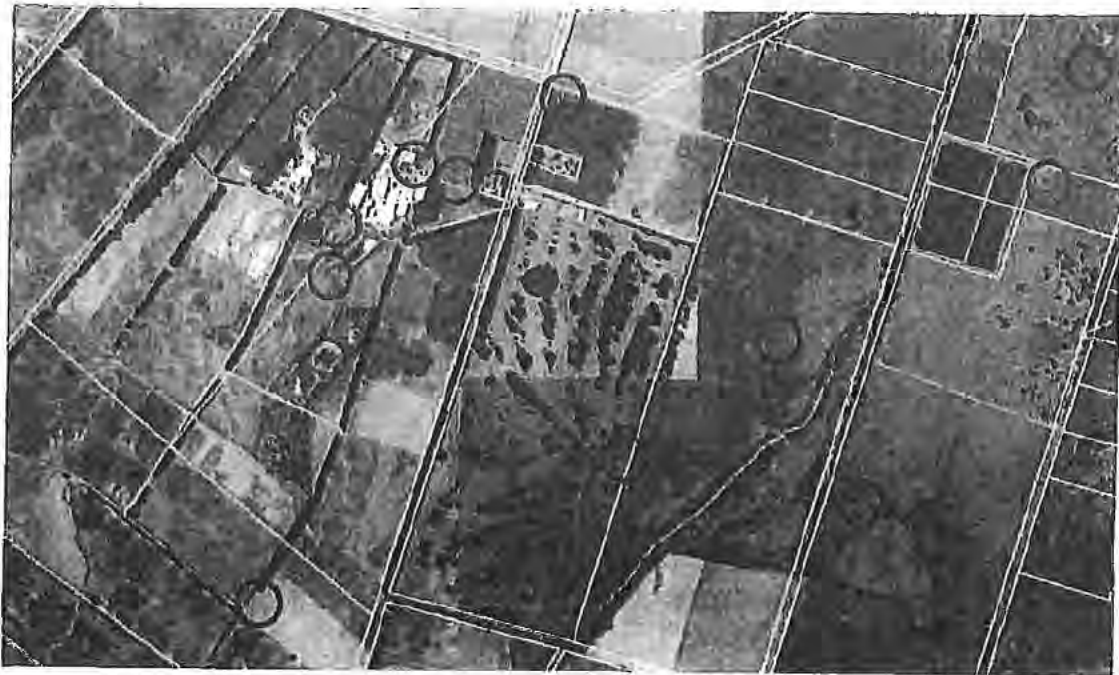


Figure 2 Location nearby bores



Site Assessment Report. November 2022, Soldlers Settlement Road, Featherston

Piezometric contours held by Greater Wellington Regional Council suggest that groundwater flow direction is in a south westerly direction.

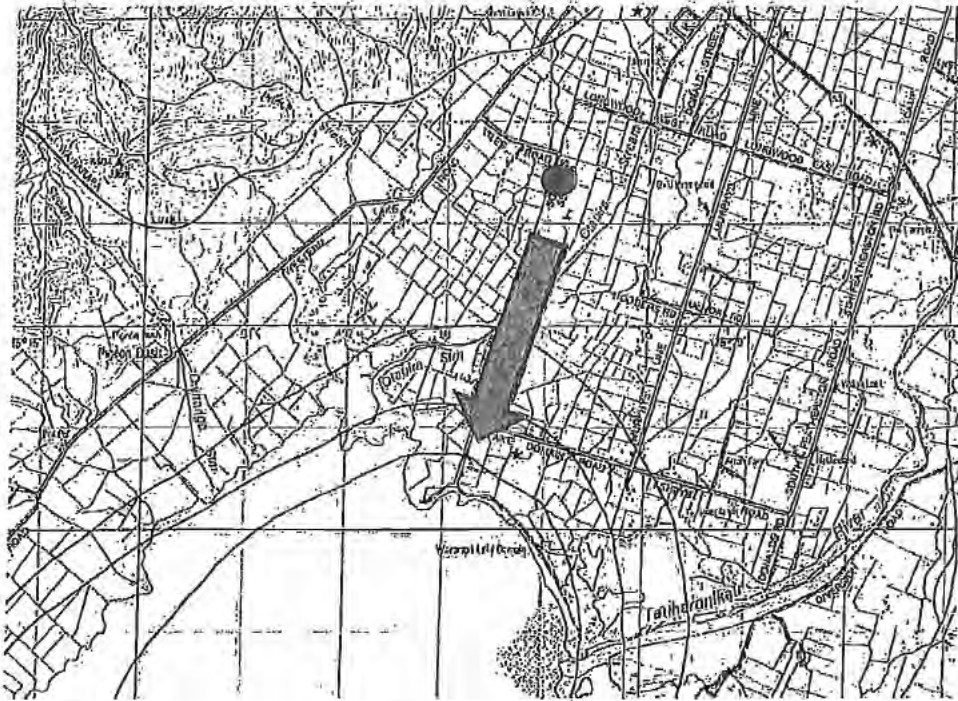


Figure 3 Groundwater piezometric contours and estimated groundwater flow direction

### 3.3. Flood zones

The flood hazard mapping on record at Greater Wellington Regional Council and Masterton District Council show the flood risk zone at some distance from the disposal field area.



Figure 4 Flood risk area



### 3.4. Soil type

Geological maps indicate Opaki brown stonyloam to dominate in the area under consideration. Silt loams have a wastewater classification of moderately well drained (Standards New Zealand, 2012).

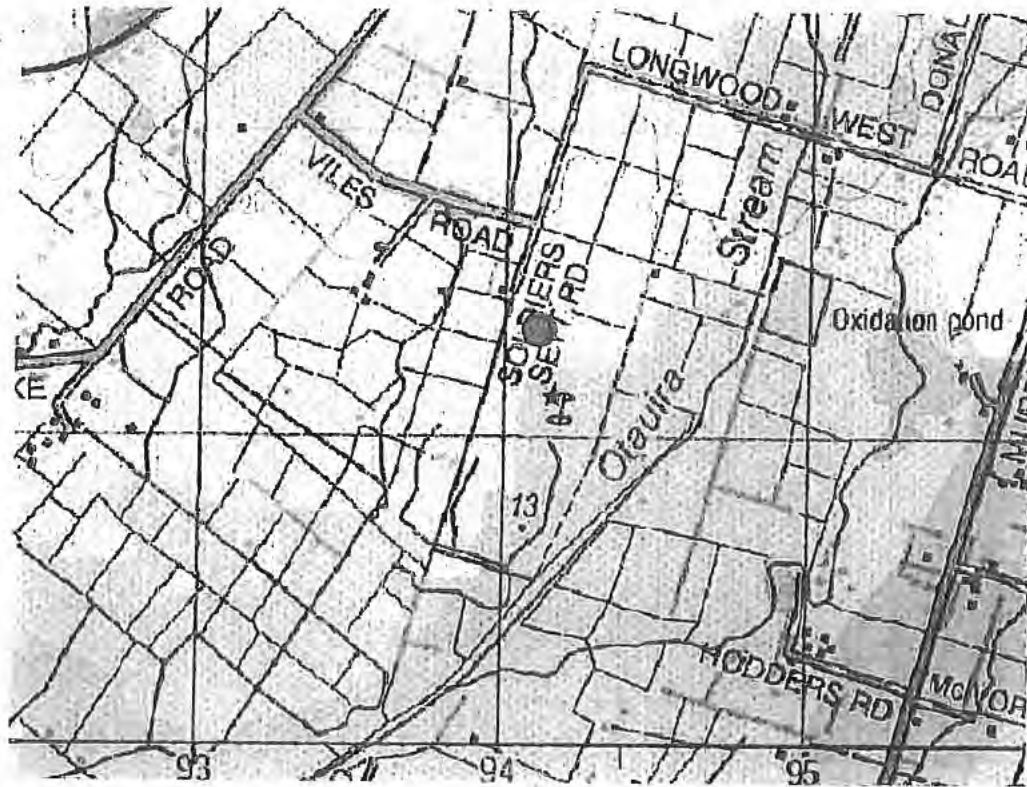


Figure 5 Soil map. Purple shaded area is noted as Opaki stony loam

Site assessment indicated stony silt loam to be dominant at the disposal field site.



Figure 6 Soil inspection showing silt loam



### 3.5. Land Use Classification

The New Zealand Land Inventory system classifies land in terms of slope, erosion, vegetation, and soil type. For this site, the following classification applies:

<b>Yellow brown soils</b>
Silt loam soils
Max. Slope 2-5 degrees
Negligible erosion
Vegetation – high and low producing pasture

The soil category (NZS1547:2012) is as follows:

Soil	Description	
Category		
1	Gravel, coarse sand; rapid draining	<input type="checkbox"/>
2	Sandy loams; free draining	<input type="checkbox"/>
3	loams; good drainage	<input checked="" type="checkbox"/>
4	Clay loam: imperfectly drained	<input type="checkbox"/>
5	light clay	<input type="checkbox"/>
6	Medium to heavy clays	<input type="checkbox"/>

### 3.6. Rainfall

Rainfall across the valley varies greatly, being relatively high in the Tararua and Remutaka ranges given the predominantly westerly wind flow direction, decreasing eastwards. This site is expected to have an average rainfall of 1200-1400mm/year.

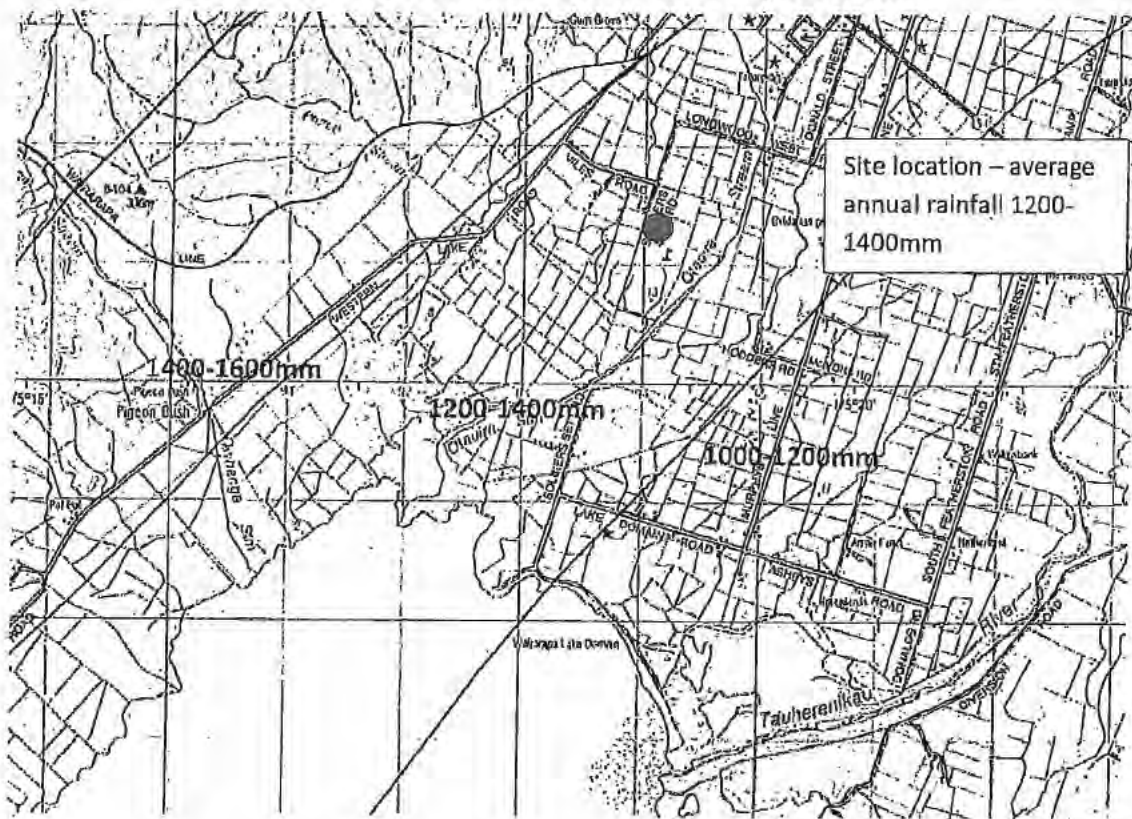


Figure 7 Rainfall Isohyets (black lines) rainfall in mm

#### 4. Soil and soil stability

##### 4.1. Soil Bearing strength

In geotechnical engineering, bearing capacity is the capacity of soil to support the loads applied to the ground. No penetrometer tests were requested.

##### 4.2. Macro soil stability

In addition to bearing capacity, instability on a larger scale can influence the suitability of a site. There are no instability issues on this site.

##### 4.3. Landform, aspect, and exposure

Landform can influence the specific drainage characteristics of a site, moisture levels, surface ponding, water run-on, water run-off, and solar resource. Aspect is southerly at the disposal field. There are no significant run-on or run-off features.

#### 5. Climate change impacts

Climate change predictions are for more extreme events likely in terms of rainfall, temperature, and droughts. There are no clear specific implications for this site.

#### 6. Wastewater design loading rate (DLR).

We estimate wastewater design loading rates at a maximum of 22mm/d (trenches) or 4.0mm/d for dripline (AS/NZS1547:2012)

#### 7. Other land features

The Wairarapa viewer records show none of the following in the vicinity of the site:



High voltage power line	No
Significant water body	No
Archaeological site	No
Geological site	No
Waahi Tapu sites	No
Notable trees	No
Heritage site	No
Outstanding natural feature or landscape	No

 CPEng

### Works Cited

Greater Wellington Regional Council. (2000). *Guidelines for on-site sewage systems in the Wellington Region.*

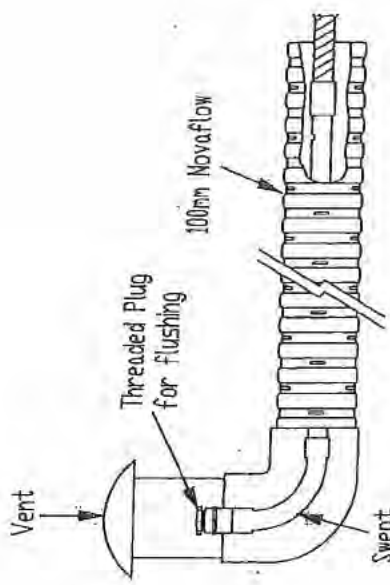
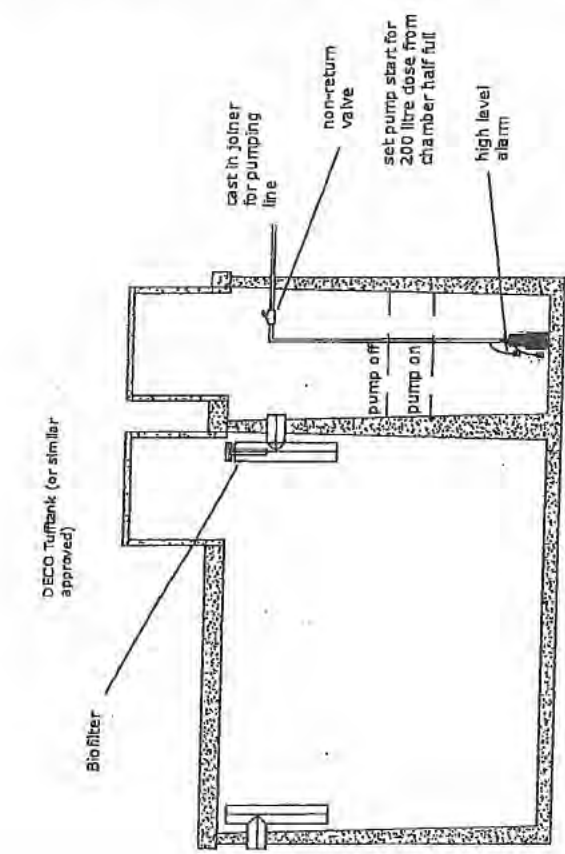
Pang, L. (2009). Microbial Removal Rates In Subsurface Media Estimated From Published Studies of Field Experiments and Large Intact Soil Cores. *Published In J. Environ. Qual. 38:1531-1559 (2009).*

Standards New Zealand. (2011). NZS3604:2011 Timber framed Buildings.

Standards New Zealand. (2012). AS/NZS1547:2012 On-Site domestic wastewater management.

**Notes**

- This drawing is to be read in conjunction with drawing 221004-1.
- Effluent disposal branch pipes are to be novaflow or similar slotted drainage pipes (100mm dia.) laid flat with a 32mm pressure line nested inside with 4mm holes drilled at 1.5m centres. Minimum pump capacity 0.5l/s @ 3.5m head. Do not oversize pump.
- Sealed effluent up/c pipes from the house to the septic tank should be laid at a minimum grade of 1:80.
- NOTES FOR CONTRACTOR**
  - Never carry out excavation when the subsoil is wet and likely to smear during use of construction equipment.
  - For any smeared infiltrative surfaces that do occur, these should be dug over by hand to prepare the surface.
  - Where possible avoid moving heavy machinery over both the disposal area and the spaces between beds, trenches etc.
  - Work should be covered during rainfall to protect infiltrative surfaces from smearing.
  - Backfilling with sand and media should be carried out with care so as not to damage the sides and base of the trench.
  - The trench bases should always be laid level and should follow the contour.
  - Trenches should be rounded over narrow benches. Trenches and beds should be lightly compacted and sown immediately with grass.
  - Pump to have a minimum capability of 5m head at 0.5l/s.



0 Total pit excavation  
250 02/11/2022.  
250mm topsoil overlying  
stony silt loam.

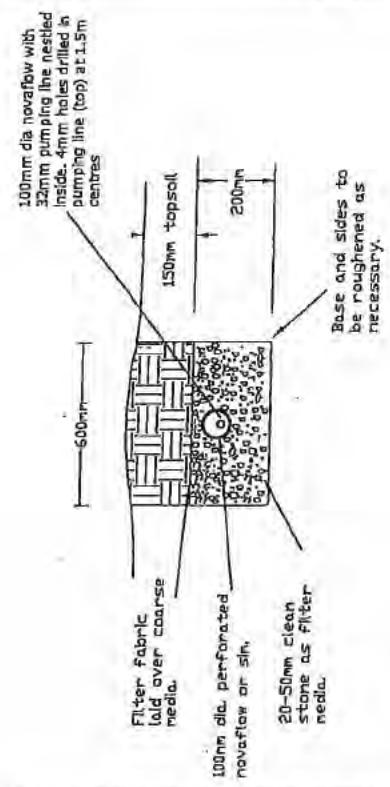
Featherston Pound  
S. Settlement Road,  
Featherston

Wastewater System  
Design

EQOnz Ltd  
Tel: 0800 000 000  
e-mail: info@eqonz.co.nz

Date: 02/11/22  
Drawn: AGD Revision: A  
Scale: not to scale

Drawing No.:  
221004-2



Low Pressure Effluent Distribution Trench Details

Site information			
Grid reference	Easting 1794035 / Northing 5443345	Excavation type	Excavator trial pit
Soil description	stony silt loam	Application Rate	22mm/d
Slope	0-4 degrees at disposal field	Rainfall	1200-1400mm/year
Aspect	southerly	landform	linear planar
Set back distances			
Property Boundary	>20m	Recreational areas	-
Habitable Buildings	>5m	In ground water tank	-
Surface water	>20m	retaining wall/escarpment	-
Bore/well	>100m	groundwater	>1m
		bedrock/hardpan	n/a

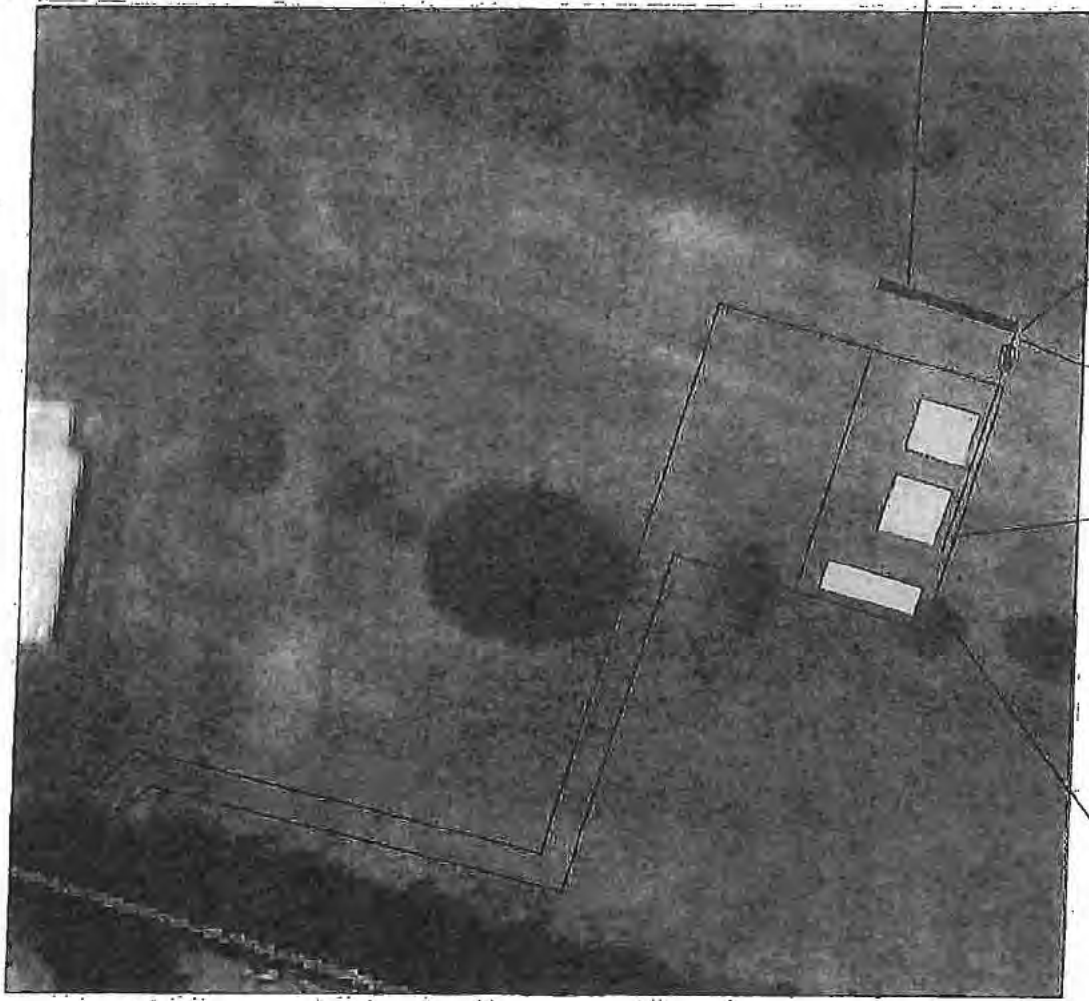


### Design Notes

This design has been produced with reference to 'On Site Wastewater Disposal from Households and Institutions' by Ian Gunn, and AS/NZS1546:2008.

The proposed facility is a dog pound on a roof water supply. SWDC has identified a daily wastewater flow allowance of 200 litres on average for 100 days per year from washdown of the kennel areas. Faeces are to be removed and disposed of separately. Primary treatment with even effluent disposal is an appropriate method. A standard septic tank (min. 3500 litres) with mid-tank baffler and integral 1000 litre pump chamber is required and must be compliant with AS/NZS1546:2008 - a Decco T4SFP or similar or similar approved. A design loading rate of 22mm/d is assumed, giving a required disposal field area of 9m<sup>2</sup>. Adopt 150mm low pressure effluent seepage trenches, 15m long and 600mm wide dug flat. Limiting the disposal daily volume to 200 litres will reduce the energy load on the sewer supply system.

1.No. low pressure effluent distribution trenches 15m long and 600mm wide dug flat and parallel to the contour. 20m min. boundary separation.



100mm UPVC gravity sewer line at min. 1:80 fall.

32mm pumping line

New septic tank with mid-tank baffler and integral 1000 litre pump chamber, compliant to AS/NZS1546:2008 Decco tufftank T4SFP or similar approved



1. This drawing is to be read in conjunction with drawing 221004-2.
2. Site plan based on aerial photography.
3. General Operation and Maintenance for the continued operation of the disposal field the following suggestions should be taken into account.
  - a) DO scrape all dishes to remove fats and grease.
  - b) DO keep all possible solids out of the system.
  - c) DON'T use garbage grinders.
  - d) DON'T pass sanitary napkins etc into the system.
  - e) DO conserve water.
  - f) DON'T use powerful bleaches or pour paint etc down the drain.
  - g) DO have the tank pumped out on a regular basis (every three to five years is average)
  - h) DO clean filters in accordance with the manufacturers' recommendations.
4. All fixtures, fittings, vent pipes, and other features required by the building code and not indicated on the drawings are to be fitted as standard by the drainlayer. All drainlaying work to be to GI3/AS2, AS/NZS3500, or acceptable solutions under AS/NZS3500.2.2
5. Drainlayer should outline operation of the system to the homeowner, and show filter cleaning procedure etc where applicable.
6. All system components are to be sealed against ground and surface water infiltration.
  - trial pit

Featherston Pound  
Settlement Road,  
Featherston

Wastewater System  
Design

ECO.nz Ltd  
Tel: [redacted]  
CP Eng: 209492  
e-mail: [redacted]@eco.org.nz

Date: 2/11/22  
Drawn: AGD Revision: B  
Scale: 1:500@A3

Drawing No.:  
221004-1B

## Homeowner Guidance Notes – Wastewater System.

### Introduction

The inclusion of an on-site wastewater disposal system requires input from a number of people during the life of the system. The correct operation of the system is important for human and environmental health. This document sets out the typical responsibilities of each party and aims to provide guidance to the homeowner on the operation and maintenance and basic functioning of the system.

The basic line of responsibility is shown in figure 1, and indicates where input typically occurs from each party.

### Site assessment

The wastewater design standard AS/NZS1547:2012 requires that a site assessment is carried out to ascertain any restrictions on your site in terms of wastewater disposal, and to identify what type of system is best suited. The site assessment for your site indicated that there are several treatment and disposal system options for your conditions, however it is a requirement of the Proposed Natural Resources Plan that effluent is dispersed evenly over the whole disposal field surface.

In addition pathogenic loads from dog waste can be significant, and even dispersal over the disposal field plays an important part in optimising the renovation capacity of the soil.

We have recommended a standard septic tank and low-pressure effluent dosed seepage trench system, which is the simplest solution that ensures effluent is evenly distributed over the base of the disposal field and uses the renovation capacity of the soil as part of the system to purify the wastewater.

New bores should be located >50m from the disposal field and upstream in terms of groundwater flow.

### System description: effluent seepage systems

These systems typically have:

- A septic tank (where anaerobic bacteria break down the organic matter). Solids settle to the bottom of the tank, and form a layer of sludge. Lighter wastes such as fat and grease float to the surface and form a scum layer.
- An effluent filter is used to help retain solids in the tank and improve effluent quality.
- Effluent is pumped to underground trenches through emitters at 1.5m centres, where it filters down through the soil, receiving treatment from natural processes. This system is used to spread effluent over the entire length of the trench.





## Land Application

The effluent from the septic tank is typically applied to land by shallow seepage trenches where conditions are such that it is an environmentally acceptable way of disposing of the water from a septic tank. In this case, the site conditions are favourable for seepage trenches as the groundwater is at sufficient depth.

The soil provides a final treatment to the effluent through a number of processes, so that by the time the effluent reaches the groundwater, it has had most of the contaminants removed. The land application area is an essential part of the system and needs to be protected from vehicles, stock and other activities that could damage the pipes of the soil structure.

## General operation

For the on-site system to work well, there are some good habits to encourage, and some bad habits to avoid:

- a) To reduce sludge building up in the tank:
  - I. Scrape all dishes to remove fats, grease, and so on before washing
  - II. Keep all possible solids out of the system
  - III. Don't use a food waste disposal unit unless the system has been specifically designed to take the extra load
  - IV. Don't put sanitary napkins and other hygiene products into the system
- b) To keep the bacteria working in the tank and the land application area:
  - I. Use biodegradable soap
  - II. Use a low-phosphorus detergent
  - III. Use detergents in the recommended quantities
  - IV. Don't use powerful bleaches, whiteners, nappy soakers, spot removers and disinfectants, and
  - V. Don't put chemicals down the toilet
- c) Conservation of water will reduce the volume of effluent requiring disposal and the land application area, make it last longer, and improve its performance. Conservation measures include:
  - I. Installing water conservation fittings
  - II. Taking showers instead of baths
  - III. Washing clothes only when there is a full load, and
  - IV. Using the dishwasher only when there is a full load.
- d) Avoid overloading the system by spacing out water use as evenly as possible. For example:
  - I. Do not do all the washing on the same day, and
  - II. Do not run the washing machine and the dishwasher at the same time.

## Maintenance

Aerated wastewater treatment systems often have components that are best serviced by an experienced tradesman. Maintenance can involve:

- Removal of accumulated sludge
- Cleaning of filters

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- Grease/debris removal
- Checking the application field operation and soil conditions (check for wet spots, uneven grass colour)

It is important for the homeowner to make sure that the installer explains the operation of the treatment system to them, and talks through the maintenance options.

It is also useful to ask the installer for an as-built plan, as this is a good record of where the underground pipes are for future reference.

It is prudent to maintain a log of what maintenance procedures have taken place over the life of the system.

### **Expectations**

The following can be expected:

- That the septic tank is designed and manufactured in accordance with AS/NZS1546:1:2008, and that quality control procedures are in place to ensure continued construction quality.
- That the wastewater designer carries out the site assessment and system design with due diligence, in a professional manner, and in accordance with the New Zealand standard AS/NZS1547:2012 and other relevant documents.
- That the wastewater designer communicates the reasons for decisions made in the design process. There are so many variables involving the way in which the homeowner uses the system that it is difficult at a later date to identify the cause of system problems, and for this reason it is important to ensure at the beginning that the design meets the homeowner's requirements and that it is carried out in accordance with the standard.
- That the installer acts in a competent, workmanlike manner, and installs the system as per the design recommendations. If there is good reason for amendments to the design, these should be communicated to both the wastewater designer and the homeowner.
- The installer should inform the homeowner of operational or maintenance requirements, and maximum and minimum flows for good system performance.
- The homeowner should act responsibly and ensure that the operational requirements of the system are met (e.g. that the system is not overloaded etc), and that specific expectations of the system are communicated to the designer and/or the installer.
- Territorial authorities are required to ensure that on-site wastewater systems are appropriately designed and installed, and will operate in such a way that no threat is posed to safety or public health. There is no mechanism under the Building Act to include a requirement in a building consent for ongoing monitoring or maintenance of on-site systems. Once a system is installed and a code compliance certificate is issued, the territorial authority has no further obligation for the on-site wastewater system.

Item	Description
AS/NZS1547:2012	The principal New Zealand standard that sets out the way in which wastewater systems are designed. <a href="http://www.standards.co.nz">http://www.standards.co.nz</a>
AS/NZS1546.1:2008	The standard against which septic tanks are tested.
site assessment	An investigation of the site to assess what are the factors that could influence the correct operation of an on site wastewater disposal system.
anaerobic	In the absence of oxygen
aerobic	In the presence of oxygen
effluent filter	A mesh or screen incorporating holes of a known size. Used to retain solids in one part of the treatment system whilst allowing water to pass through.
environmentally acceptable	Human wastewater contains a number of contaminants that can have a negative effect on the ecology of streams or vegetation, attract flies/rodents, and contaminate bores or wells
Application field	An area set aside on the site for the application of treated effluent into or onto land, and which contains a number of narrow bore driplines.
Seepage trenches	Shallow, gravel filled trenches where the treated effluent seeps into the ground.
as-built plan	A plan showing the actual final installed location of pipes and tanks on the site.



BUILDING CONSENT-

3



SOUTH WAIRARAPA  
DISTRICT COUNCIL  
*Kia Rekeahi Titau*

Valuation Number: 1825004601

30<sup>th</sup> November 2022

Russell O'Leary  
South Wairarapa District Council  
PO Box 6  
Martinborough 5711

Dear Russell

**Building Consent Exemption application for a New Animal Facility at 23 Viles Road, Featherston**

I am writing to you with regards to your application for an exemption under Schedule 1 Building Act 2004 – Exemption 2.

I have reviewed the application and documents provided and the decision has been made to approve the exemption application under Schedule 1(2) of the Building Act 2004.

This exemption is limited to the details provided in SMC Design plans titled New Dog Kennel and dated 21/11/2022, and the Site Assessment Report 221004, November 2022 issued by EQO NZ.

Any changes to these details e.g. foundation size/detail/location, will require a new application.

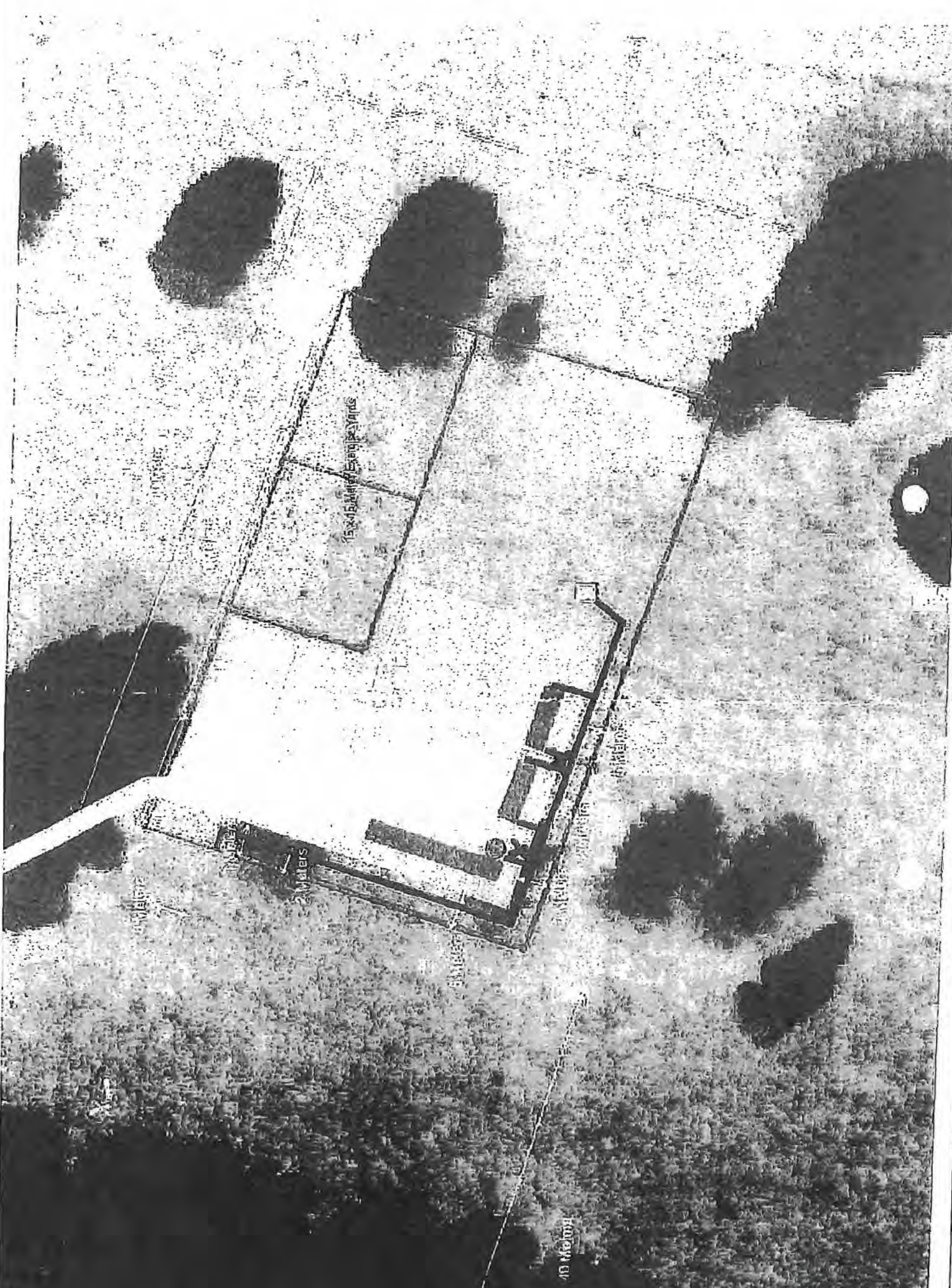
Please ensure all work complies with the engineering requirements supplied with the application, and is carried out by suitably qualified people as per your application.

Should you have any enquiries or require any further information please contact the writer.

Yours faithfully



@swdc.govt.nz



15 x 16 Meter Enclosed Yard

2 Meters

20 Meters





# COTTER & STEVENS

www.cotterandstevens.co.nz



35 Jellicoe Street  
MARTINBOROUGH  
Ph: (06) 3069 491  
Fax: (06) 3068 491

ATTN

office@cans.co.nz



Reference/Certificate ID No: 62046

This form has been designed to be used by licensed electrical workers to certify that installations or part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

... featherstone dog pound

Contact Details:  
(Name and address)

South Wairarapa District Council South Wairarapa District Council

Name of Electrical worker:

Registration/Practising licence number:

Organisation/company:

Cotter & Stevens Ltd 06 306 9491

Phone and email:

Name of person(s) supervised:

### Certificate of Compliance

Type of work:  Additions  Alterations  New work

The prescribed electrical work is:  Low risk  General  High risk (Specify):

Reference Standards:  Part 1 of AS/NZS 3000  Part 2 of AS/NZS 3000

Additional Standards:

Description of Work: (Including date/s of work and type of supply system)

Wair. new septic system at dog pound and install high level light for system fault display correct

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

Select those that apply:

- Has been installed in accordance with the specified certified design
- Has an earthing system that is correctly rated (where applicable)
- Contains fittings that are safe to connect to a power supply
- Relies on a supplier Declaration of Conformity
- Relies on a manufacturer's instructions
- Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- Is safe to connect

Test Results	
Polarity (Independent earth):	Correct
Insulation resistance:	≥1000m
Earth Continuity:	≤0.5 ohms
Bonding:	
Fault Loop Impedance:	
Other (specify):	

Electronic/Other reference:

Certifier's signature:

Date: 01/06/2023

Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

### Electrical Safety Certificate

I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name:

Registration/Practising licence number:

Certifier's signature:

Certificate Issue Date: 01/06/2023

Connection Date: 01/06/2023

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

WHITE COPY: CUSTOMER YELLOW COPY: ELECTRICIAN BLUE COPY: INSPECTOR

1901

Table 2 Recommended minimum sizes for kennels and kennels with runs attached.

Size of dog	Kennel only	Kennel plus run
Small (<7kg)	900mm x 700mm	500mm x 500mm plus 600mm x 1m
Medium (7-20kg)	1.2m x 800mm	600mm x 700mm plus 800mm x 1m
Large (21-40kg)	1m x 1.5m	800mm x 800mm plus 1m x 800mm
Extra large (>40kg)	1m x 2m	1.2m x 1.2m plus 1.2m x 2.4m

Please note this is guidance only and expert advice should be sought where there is any uncertainty.

### General Information

Information on appropriate design of kennels may be obtained from Dogs New Zealand, a veterinarian, or an animal welfare organisation specialising in the care of companion animals.

In general, the following considerations can help with kennel design:

- Toxic materials, such as lead-based paint, cause a risk of poisoning.
- The requirement for bedding depends on factors such as the body condition of the dog, the length of its coat, its age and the effectiveness of the housing. While metal and concrete sleeping areas are easier to clean, these hard surfaces may be cold and can cause pressure sores and exacerbate arthritis. Sleeping beds off the ground will increase comfort where dogs live in these types of kennels. Supportive bedding is of particular benefit to older dogs, dogs with arthritis, and short-coated lean dogs which may develop calluses or sores over the elbows and hocks.
- Metal kennels or kennels with a metal roof can become extremely hot in warm weather so dogs need access to a shaded area with effective ventilation.
- Kennels can be lined and floored with insulating material such as wood to reduce heat loss. This is particularly important for winter in colder parts of the country.
- The floors of runs should be solid or slatted with no gaps capable of injuring the feet.
- Dog-runs on the ground need to be well drained and kept clean of faeces and the area changed regularly to prevent a build-up of hookworms in the area (refer to Section 7.5: Diseases of the Skin).

In cold weather, additional measures to keep dogs warm include providing additional bedding or a source of heating, bringing the dog indoors or feeding it additional food.



From: [redacted]  
 Sent: Tuesday, 31 May 2022 11:28 am  
 To: [redacted]  
 Cc: [redacted]  
 Subject: Pound RC application  
 Attachments: PSI Featherston Golf Club FINAL.pdf; SWDC-Resource-Consent-Form.pdf

Hi,

As promised here's some info for the resource consent application for the proposed pound.

- Resource consent will be required for an activity which is over 25m2 and not for rural or residential activities – Rule 4.5.5(c). You'll need to make a case as to why its suitable in this location. Below are our matters of discretion (what we assess the application on):
  - o (i) Siting of any building;
  - o (ii) Design and location of the access;
  - o (iii) Location, size and effects of any signage;
  - o (iv) Amenity and visual effects;
  - o (v) Landscaping and screening;
  - o (vi) Noise generated by the activity;
  - o (vii) Changes in the type and amount of traffic;
  - o (viii) Effects of retail activities in the Rural Zone on the viability and vitality of the existing town centres of Masterton, Carterton Greytown, Martinborough and Featherston;
  - o (ix) Servicing and infrastructure requirements.
- Building location and fencing meet the setback standards. Please make sure the application states that fencing will not exceed 2m. I'm happy that based on the location and scale written approvals wont be required from the adjoining properties
- Include information on lighting to confirm compliance with the dark sky provisions
- Confirm compliance with Regulation 8(3) of the National Environmental Standard for Soil Contamination. Specifically the soil disturbance standards as we discussed (16,000m3):

*Disturbing soil*

- (3) Disturbing the soil of the piece of land is a permitted activity while the following requirements are met
  - (a) controls to minimise the exposure of humans to mobilised contaminants must—
    - (i) be in place when the activity begins;
    - (ii) be effective while the activity is done;
    - (iii) be effective until the soil is reinstated to an erosion-resistant state;
  - (b) the soil must be reinstated to an erosion-resistant state within 1 month after the serving of the pi which the activity was done;
  - (c) the volume of the disturbance of the soil of the piece of land must be no more than 25 m<sup>3</sup> per 50
  - (d) soil must not be taken away in the course of the activity, except that,—
    - (i) for the purpose of laboratory analysis, any amount of soil may be taken away as samples;
    - (ii) for all other purposes combined, a maximum of 5 m<sup>3</sup> per 500 m<sup>3</sup> of soil may be taken av
  - (e) soil taken away in the course of the activity must be disposed of at a facility authorised to recei kind:
  - (f) the duration of the activity must be no longer than 2 months;
  - (g) the integrity of a structure designed to contain contaminated soil or other contaminated material be compromised.



SOUTH WAIRARAPA  
DISTRICT COUNCIL  
*Kia Reretahi Tātau*

Valuation Number: 1825004601

30<sup>th</sup> November 2022

Russell O'Leary  
South Wairarapa District Council  
PO Box 6  
Martinborough 5711

Dear Russell

**Building Consent Exemption application for a New Animal Facility at 23 Viles Road, Featherston**

I am writing to you with regards to your application for an exemption under Schedule 1 Building Act 2004 – Exemption 2.

I have reviewed the application and documents provided and the decision has been made to approve the exemption application under Schedule 1(2) of the Building Act 2004.

This exemption is limited to the details provided in SMC Design plans titled New Dog Kennel and dated 21/11/2022, and the Site Assessment Report 221004, November 2022 issued by EQO NZ.

Any changes to these details e.g. foundation size/detail/location, will require a new application.

Please ensure all work complies with the engineering requirements supplied with the application, and is carried out by suitably qualified people as per your application.

Should you have any enquiries or require any further information please contact the writer.

Yours faithfully



@swdc.govt.nz



South Wairarapa District Council

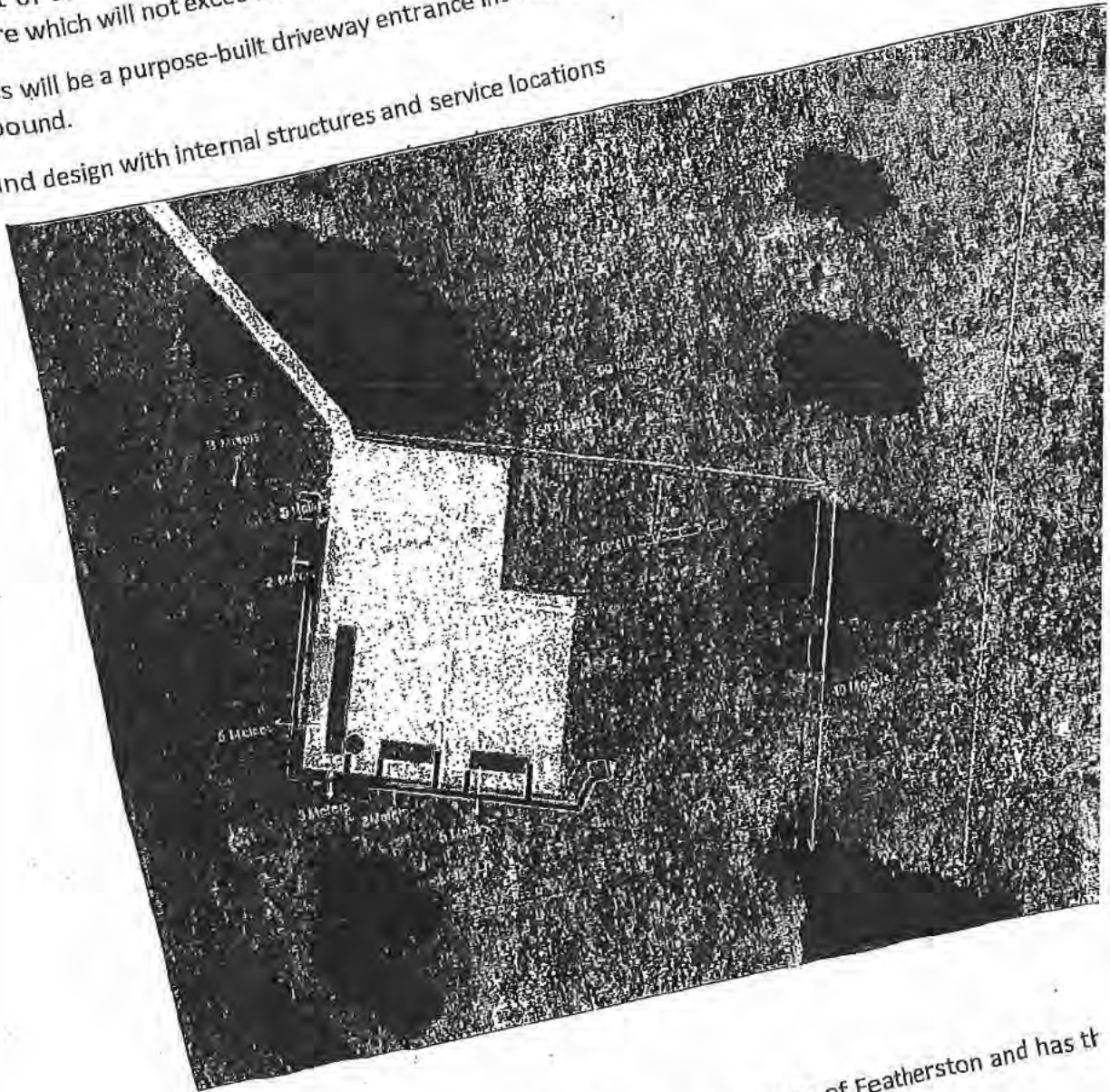
Animal Facility Proposal



container modules. The proposal has three intended structures two x 20-foot containers which house the kennels (each container has four kennels) and 1 x 40-foot container that will be used as a welfare assessment of the dog/s upon arrival. The perimeter fencing consists of a chain link material will be barbed wire which will not exceed two metres in height.

The access will be a purpose-built driveway entrance into the site from Viles Road and run directly to the compound.

Compound design with internal structures and service locations



#### Surrounding areas

The location of the proposed facilities is within the rural zone of Featherston and has the following land usage:

Land uses adjacent to the site are:

North: Pastoral grazing

East: Pastoral grazing

South: Pastoral grazing

West: A large-scale piggery at 54 Viles Road.



	construction or use of a building over 25m <sup>2</sup> in gross floor area	
--	-----------------------------------------------------------------------------	--

**Assessment of Environmental Effects**

An assessment on the District Plans matters of discretion has been undertaken below:

**Siting of building**

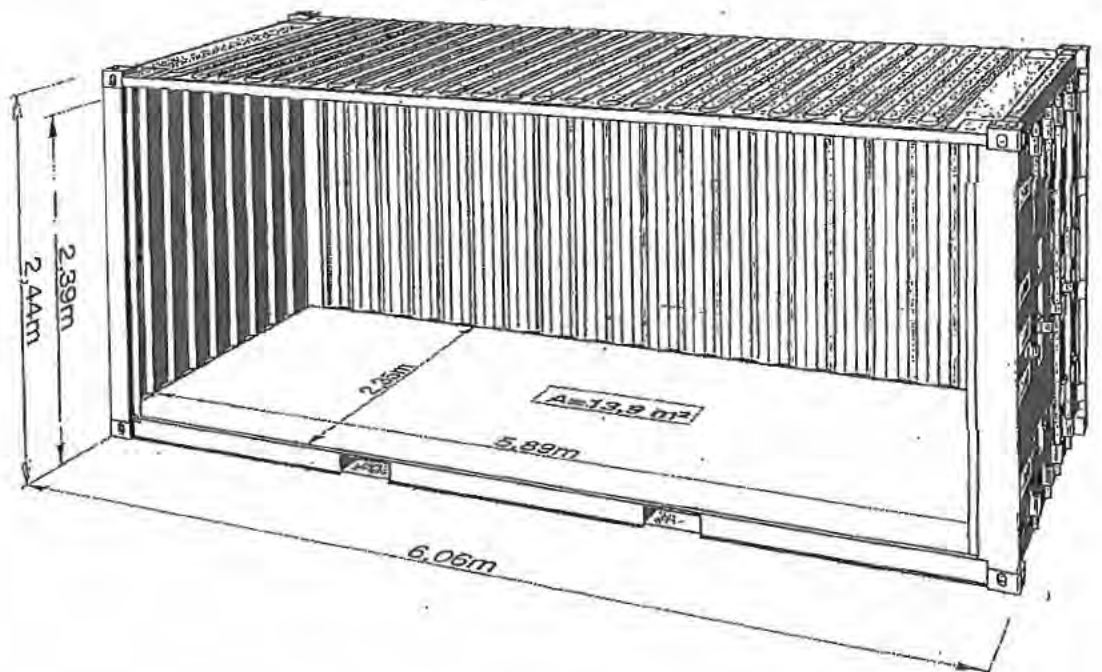
The new structures on the site meet all requirements in terms of setbacks and height planes for the rural area. There is a 51-metre setback from the Western boundary, 61 metres from the Northern boundary.

**Design and location of access**

The location is at the end of Viles Road which is the end of the formed road. The entranceway comes in off this road via a purpose-built access point. The entry is not available to the public and is only to be used by authorised personnel. The access is a gravel form driveway entering into the site.

**Size and effects of structures**

The compound is a 40 x 50 metre area which will site three structures which make up 2 x 20-foot containers. The total building area equates to an area of 59m<sup>2</sup>.



for an additional structure. As part of the design in housing the dogs we have included an acoustic lined ceiling tile to help mitigate the level of noise.

#### **Servicing and infrastructure requirements**

i. Power

The proposal has a purpose-built solar system which is to generate all the power requirements for the Animal facility. The panels will be mounted on the 40-foot container in an east/west configuration. We have a system which has a potential generate output of 18.5 kWh with an average 6 kWh consumption.

ii. Water

The large structure has a rain collection design to collect into a 10,000-litre water tank. This water maybe topped up by water trucked onto site Any overflow will be directed to two soak pits in accordance with the building code requirements.

iii. Septic

The proposed activity will have a purpose designed septic system installed. The amount of waste discharged will only be grey water from the wash down procedure. Solids will be collected and disposed of offsite.

iv. Stormwater

Stormwater soak pits will be constructed to acceptable design and construction which will form part of the building consent application. Stormwater to be discharged will be derived from rainwater

#### **Positive effects**

The Territory authority of South Wairarapa District is required to establish an animal facility or come to an agreement to share a similar facility with another. The Council has agreed to build a facility within the South Wairarapa District and to a level that is complaint with the necessary national standards and Animal Welfare codes. The current facility is failing to meet those standards and currently is located in a residential zone. A complaint pound in better location not in residential zone

#### **National Environmental Standard for Soil contamination – reg 8(3)**

Soil will be disturbed to create an entry/access point and driveway to the compound. In additionally the interior of the compound will have soil removed to the depth of 400mm to create a solid base for the container structures. The amount of material would be considerably less than the 16,000m<sup>3</sup> standard. All soil will remain onsite and relocated to form a bund, however the amount of material is not likely to create any great visual change to the surrounding area. The removed soil will be reinstated to an erosion resistant state.

#### **Section 104(1)(b) assessment**



for an additional structure. As part of the design in housing the dogs we have included an acoustic lined ceiling tile to help mitigate the level of noise.

**Servicing and infrastructure requirements**

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**Section 104(1)(b) assessment**

APPLICATION FOR RESOURCE CONSENT  
Under s88 of the Resource Management Act 1991



Applicant Details

Name SOUTH WAIRAKAPA DISTRICT COUNCIL  
Postal Address 19 KITCHENER STREET, MARTINBOROUGH  
Home Phone 06 306 9611  
Cell Phone  
Email

Agent Details (if different to that of the applicant)

Name HARRY WILSON  
Postal Address 19 KITCHENER STREET, MARTINBOROUGH  
Phone 06 306 9611  
Client Reference  
Email

Location of Activity NB: A full site plan (to scale) is required as part of this application.

Street Address 33 VILBS ROAD, FEATHERSTON  
Legal Description LOT 2 DP 28698 BLK III WAIRAKAPA SD  
Valuation Number 1825004601

Written Consent of Affected Parties

N/A  Gained and Attached  Not Gained

Certificate of Title

CT Attached  Council to provide CT (Refer to fees & charges)

Signature/s

to be signed by the applicant or agent

Paul Gardner  
Acting Chief Executive

103

Name

Paul Gardner

Date

2/10/22





# APPLICATION FOR A DISCRETIONARY EXEMPTION FROM BUILDING CONSENT

Building Act 2004 – Schedule 1, exemption (2)

A building consent exemption under Schedule 1(2) of the Building Act 2004 is the formal decision issued by a territorial authority confirming a building consent is not required for the intended building works.

Send or deliver your application to: **The Building Department,  
South Wairarapa District Council, 19 Kitchener Street, Martinborough 5711**

Type directly on this form, or download and fill in a paper copy.

## PART 1 – APPLICATION (SELECT TYPE APPROPRIATELY)

I request that you issue an exemption on the basis:

- |                                                                                                                                                         |                                                                                                                                                                                                         |
|---------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> The completed work is likely to comply with the building code if it is carried out in accordance with the proposal. | <input type="checkbox"/> If the completed work were not to comply with the building code, it would unlikely endanger any people of building provided it is carried out in accordance with the proposal. |
|---------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

I request that you send the approved document to me via:

- mailed  collected  emailed

Cultural or heritage significance

Does the building or site have any cultural or heritage significance, or is it a marae?  yes  no

## The building (PROJECT LOCATION)

Building name (if applicable) Animal Facility

Building street address 23 Viles Road, Featherston

Location of building within the site (include nearest street access) 61 metres south of access point

Legal description of land where the building is located. If a subdivision of the land is proposed provide the lot numbers and consent number

Lot(s) 2

DP(s) 28698

Area (in square metres)

Proposed new floor area: 45.9

**The owner (MUST BE COMPLETED FOR ALL APPLICATIONS AND ALL DETAILS MUST BE THE OWNER'S)**

Owner's name. If the owner is a company or other organisation provide the company or organisation name and a contact person's name

Name: SWDC - Harry Wilson

Owner's mailing address 19 Kitchener St, Martinborough

Street address/registered office

Owner's contact details

Landline 063069611

Mobile

After hours

Fax

Email reg@swdc.govt.nz

Website

**Agent (only required if application is being made on behalf of the owner)**

Name of agent. If application is for a company, trust or other organisation provide a contact person's name

Name

Agent's mailing address

Street address/registered office

Agent's contact details

Landline:

Mobile:

After hours:

Fax:

Email:

Website:

First point of contact (mark boxes as appropriate and provide details of any other points of contact)

Further information     Agent     Owner     Other

Correspondence     Agent     Owner     Other

Invoicing     Agent     Owner     Other



**Application**

Signed by the owner	OR	Signed by the agent <i>(on behalf of, or with the authority from, the owner)</i>
Signature		Signature
Name		Name
Date 30/11/22		Date

**Privacy information**

The information you have provided on this form is required so that your application can be processed under the Building Act 2004. The Council collates statistics relating to issued consents and has a statutory obligation to forward these regularly to Statistics New Zealand. The Council stores the information on a public register, which must be supplied (as previously determined by the Ombudsman) to whoever requests the information.

Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

**PART 2 – PROJECT****General information**

Description of the building work *(provide sufficient description to enable full understanding of the scope of the work).*

Foundation for new animal facility

Will the building work result in a change of use of any part of the building? *(If yes, provide details of the new use)*

Yes  No

Intended life of the building stated in years, only if intended to be less than 50 years old

Estimated value of the building work on which the building levy will be calculated *(including goods and services tax)*  
*[state estimated value as defined in section 7 of the Building Act 2004].*

\$10,000

**PART 3 – EXEMPTION DETAILS**

**Means of compliance:** (Specify the standards, acceptable solutions, or MBIE guidance documents that may apply)  
B1, B2, E1

**Design responsibilities:** (Who is carrying out the design work? What qualifications and experience do they have to carry out work of this complexity?)  
[REDACTED], CPEng, carried out site assessment report for drainage works associated with onsite wastewater disposal for animal waste  
Foundation design for container building carried out by SMC Design Studio with PS1 issued by [REDACTED], CPEng.

**Construction responsibilities:** (Who is carrying out the building work? What qualifications and experience do they have to carry out work of this complexity?)  
1Geotechnical for construction and Pope and Gray for drainage work

**Quality Assurance:** (For example, a summary of any QA system used, including details, including details of site inspections by architect, designer, engineer, site supervisor, etc.)  
All work will be overseen by 1Geotechnical

**SUPPORTING DOCUMENTS**

**Address (PROJECT LOCATION)**

**Attachments** Please provide one copy of the information relevant to the project.

Application form (original)	<input checked="" type="checkbox"/>		<input type="checkbox"/> Checked
Relevant drawings	<input checked="" type="checkbox"/>		
Specifications	<input checked="" type="checkbox"/>		
Product Information	<input type="checkbox"/>		
Any other relevant information	<input type="checkbox"/>		
Application fee	<input type="checkbox"/>		



**Office Use**

BC Exemption:    Accepted     Refused

Reason for acceptance or refusal:

Owner advised in writing of outcome:    Yes

Signed:

Date:

# APPLICATION FOR PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT (FORM 2)

Section 33 or 45, Building Act 2004

**THIS IS A PDF FILL-IN FORM COMPATIBLE WITH MOST PDF VIEWERS. IF YOU ENCOUNTER DIFFICULTY WITH ANY OF THE CONTROLS, TRY USING A DIFFERENT PDF VIEWER. CHROME IS FREE TO DOWNLOAD AND COMPATIBLE WITH THIS FORM.**

## HOW IT WORKS

All building work done in New Zealand must comply with the Building Code, and a building consent is often needed. Some building work is exempt from needing a consent. For more information go to [www.building.govt.nz](http://www.building.govt.nz)

Commercial and multi-unit building work will also need careful planning and may have additional requirements.

Your council can tell you about any district or regional plans that may require you to get resource consent or other permits.

## WHEN YOU NEED A BUILDING CONSENT

The following list is a summary of building work that will need a consent, but you should always check with your local council to confirm.

- structural building - including additions, alterations, re-piling and some demolitions
- plumbing and drainage where an additional sanitary fixture is created
- relocating a building
- installing a wood burner
- retaining walls higher than 1.5 metres
- fences or walls higher than 2.5 metres, and all swimming pools and their associated fences
- decks, platforms or bridges more than 1.5 metres above ground level
- sheds greater than 30 m<sup>2</sup> in floor area (restrictions apply to sheds between 10 and 30 m<sup>2</sup>).

You are breaking the law if you carry out building work that is not exempt and does not have a building consent. You may be fined up to \$200,000 and, if work continues, a further fine of up to \$20,000 for every day or part-day during which the offence continues.

Your council can also issue you a notice to fix for carrying out building work without consent, including instant fines of up to \$1,000. They can remove the building work if it is dangerous or insanitary.

## HOW TO APPLY

As a minimum, the documents listed below must be included in your application. Depending type of application, additional documents might be required or requested while the Council/Territorial Authority (TA)/Building Consent Authority (BCA) process your application.

- Proof of ownership
- Detailed drawings and plans
- Specifications.

## HOW TO SUBMIT YOUR APPLICATION

Check with the Council/TA/BCA you are applying to for more information on how to submit your application. Electronic submissions may be available with the relevant Council/TA/BCA on the [simpli.govt.nz](http://simpli.govt.nz) website.



# APPLICATION FOR PROJECT INFORMATION MEMORANDUM AND/OR BUILDING CONSENT (FORM 2)

Official Use Only

Section 33 or 45, Building Act 2004

## 1. WHAT ARE YOU APPLYING FOR?

- Building Consent  
 Amendment to Building Consent  
 Project Information Memorandum (PIM) *complete only sections 1-6 and 10-12*  
 Staged Building Consent - Stage number \_\_\_\_\_ of \_\_\_\_\_ expected number of stages.  
 Building Consent for a National Multi-use Approval (MultiProof) - MultiProof Number \_\_\_\_\_

List PIM, building and resource consents related to this project (if any):	Consent Number	Description

Have you discussed your application with the Council / BCA before making this application?

No  Yes - provide details

Are you applying for Owner-Builder exemption to complete the Restricted Building Work?

*If Yes, complete and attach the 'Statutory Declaration as to Owner Builder Status (Form2B)'.*

*If No, complete and attach the 'Memorandum from Licensed Building Practitioner: Certificate of Design Work (form2A)'.*

No  
 Yes

## 2. PROPERTY INFORMATION

<b>Street address of the building:</b> <i>For structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection</i>		<b>Location of building within the site/block number:</b>		61metres south of access point on Viles road.
23 Viles Road, Featherston		<b>Current, lawfully established use:</b> <i>Include the number of occupants per level and per use if more than 1. If the use was changed by the building work, state previous use</i>		Establishment of Animal Facility commonly known as a Pound.
<b>Legal description of the land where the building is located:</b> <i>State legal description as at the date of application and, if the land is proposed to be subdivided, include details of relevant lot numbers and subdivision consent</i>		<b>Area:</b> <i>Total floor area. Indicate area affected by the building work if less than the total area</i>		45.9 m <sup>2</sup>
Lot:	2	<b>Current number of levels:</b>		1
DP:	28698 BLK III WAIRARAPA SD	<b>Current number of levels below ground:</b>		zero
Building Name:		<b>Year first constructed:</b> <i>Insert year. An approximate date is acceptable, e.g. the 1920s or 1960-1970</i>		2022
Level/ Unit number:				



### 3. OWNER AND AGENT INFORMATION

Owner		Agent <i>If the application is made on behalf of the owner</i>	
Name of Owner: <i>Include title</i>	South Wairarapa District Council	Name of Agent:	
Contact person: <i>If not an individual</i>	Harry Wilson	Contact person: <i>If not an individual</i>	
Email:	reg@swdc.govt.nz	Relationship to owner:	
Mobile:		Email:	
Alternative Phone:	06 306 9611	Mobile:	
Street address:	19 Kitchener Street, Martinborough	Alternative Phone:	
Mailing Address: <i>If different from street address</i>		Street address:	
		Mailing Address: <i>If different from street address</i>	

The first point of contact:	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Who should we contact for invoicing?	<input type="checkbox"/> Agent	<input checked="" type="checkbox"/> Owner
Payee name for invoicing:		

### 4. WHO IS INVOLVED?

In addition to the Designer, Architect and Engineers, provide the details of all licensed building practitioners who will be involved in carrying out or supervising the restricted building work. If these details are unknown at the time of the application, they must be supplied before the work begins. If you have additional roles to add, please use the table in Appendix A.

Name:		Entity or Company:	
Licensing class/ Role:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:



Name:		Entity or Company:	
Licensing class/ Role:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

## 5. THE SPECIFICS OF THE SITE

What is the wind zone?
<input type="radio"/> Low <input type="radio"/> Medium <input type="radio"/> High <input type="radio"/> Very High <input checked="" type="radio"/> Extra High <input type="radio"/> Specific Design - Value _____
What is the exposure zone?
<input checked="" type="radio"/> Low(B) <input type="radio"/> Medium(C) <input type="radio"/> High / Sea Spray(D)

	Yes	No
Are you building in a zone that requires a land-use Resource Consent?	<input checked="" type="radio"/>	<input type="radio"/>
Does the site have any cultural or heritage significance, or is it a Marae?	<input type="radio"/>	<input checked="" type="radio"/>
Does the proposed building work cover two or more allotments?	<input type="radio"/>	<input checked="" type="radio"/>
Is it a sub-division?	<input type="radio"/>	<input checked="" type="radio"/>
Is the subdivision of an existing site involved? If yes, provide details below. <i>If a subdivision is proposed and you have not yet received an s224 certificate, the application will also need to provide any relevant information stating legal description as at the date of application and, if a subdivision is proposed, include details of the relevant resource consent number and any proposed lot numbers.</i>	<input type="radio"/>	<input checked="" type="radio"/>
Is the building work over or adjacent to any road or public place?	<input type="radio"/>	<input checked="" type="radio"/>
Is there new or altered access for vehicles?	<input checked="" type="radio"/>	<input type="radio"/>
Are there new or altered connections to public utilities?	<input type="radio"/>	<input checked="" type="radio"/>
Are there public drains on the site?	<input type="radio"/>	<input checked="" type="radio"/>
Does the building work involve the disposal of stormwater or wastewater?	<input checked="" type="radio"/>	<input type="radio"/>
Is the building work over any existing drains or sewers or in close proximity to wells or water mains?	<input type="radio"/>	<input checked="" type="radio"/>
Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination?	<input type="radio"/>	<input checked="" type="radio"/>
Are there any alterations to land contours (e.g. earthworks)?	<input checked="" type="radio"/>	<input type="radio"/>
Are there new or altered locations and/or external dimensions of buildings?	<input checked="" type="radio"/>	<input type="radio"/>
Are there any other matters known to the applicant that may require authorisation from the Territorial Authority? <i>Provide details below</i>	<input type="radio"/>	<input checked="" type="radio"/>
Details from any of the above questions:		



## 6. DETAIL OF THE BUILDING WORK

What building work are you doing? <i>Select all that apply</i>			
<b>Residential:</b>			
<input type="checkbox"/> New detached dwelling	<input type="checkbox"/> Minor alterations ( <i>only internal work</i> )		
<input type="checkbox"/> New Multi-residential dwelling	<input type="checkbox"/> New or relocation of a solid fuel burner		
<input type="checkbox"/> Plumbing works	<input type="checkbox"/> Garage / detached carport		
<input type="checkbox"/> Major alterations/additions ( <i>altering or attaching to the exterior of a building</i> )	<input type="checkbox"/> Other ( <i>provide detail below</i> )		
<b>Commercial:</b>			
<input type="checkbox"/> New commercial / industrial building	<input type="checkbox"/> Minor alterations ( <i>only internal work</i> )		
<input type="checkbox"/> Seismic strengthening	<input type="checkbox"/> Internal fit-out ( <i>including plumbing and ventilation</i> )		
<input type="checkbox"/> Major alterations/additions ( <i>altering or attaching to the exterior of a building</i> )	<input checked="" type="checkbox"/> Other ( <i>provide detail below</i> ) Foundations for new animal facility		
Short description of the building work: <i>E.g. 4 Bedroom dwelling with multiple cladding types and attached garage. Limited to 340 characters.</i>	Foundation for new animal facility		
Does the project include Restricted Building Work?	<input checked="" type="radio"/> No <input type="radio"/> Yes	Proposed new total floor area:	45.9 m <sup>2</sup>
Number of levels after building work:	1	Number of levels below ground, after building work:	zero
What is the intended life of the building?	<input checked="" type="radio"/> 50+ years <input type="radio"/> Limited life	Intended life of the building if 50 years or less:	years
Does the building work involve a swimming pool?	<input checked="" type="radio"/> No <input type="radio"/> Yes		
Proposed use: <i>Building code clause A1 classified uses</i>	<input type="radio"/> Housing Detached dwellings    Multi-unit dwellings    Group dwellings <input type="radio"/> Communal Residential Community care unrestrained    Community care restrained Community service <input type="radio"/> Communal Non-Residential Assembly Service    Assembly care <input type="radio"/> Commercial <input type="radio"/> Industrial <input checked="" type="radio"/> Outbuildings <input type="radio"/> Ancillary		
The estimated value of the building work: <i>If an amendment, capture the original value of work. Capture the additional value in the next field.</i>	\$ 10,000 <i>Inc GST</i>	If an amendment to a consent, what is the additional value?	\$ <i>Inc GST</i>
Will the building work result in a change of use?	<input checked="" type="radio"/> No <input type="radio"/> Yes - If Yes, please provide details of the new use:		



Will there be any recladding?	<input checked="" type="radio"/> No	<input type="radio"/> Yes
Is this application related to a claim under the WHRS <sup>1</sup> or FAP <sup>2</sup> scheme? <small><sup>1</sup>Weathertight Homes Resolution Service <sup>2</sup>Leaky Homes Financial Assistance Package</small>	<input checked="" type="radio"/> No	<input type="radio"/> Yes - If Yes, please provide the WHRS / FAP reference number(s):

Is your building consent application of a type defined in Gazette Notice <sup>1</sup> and section 46 of the Building Act 2004? <small>Certain applications for building consent must be submitted to Fire and Emergency New Zealand's Fire Engineering Unit (FEU) for review. <sup>1</sup>(New Zealand Gazette, 3 May 2012, Issue 49 page 1406)</small>	<input checked="" type="radio"/> No <input type="radio"/> Yes
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------

## 7. SOLID FUEL BURNER INFORMATION

Does this application include the installation of a new or relocation of a solid fuel burner?

Yes       No – Go to section 8

Make of the heater/burner:		Model of the heater/burner:	
Design:	<input type="radio"/> Freestanding <input type="radio"/> Inbuild	Type of fuel:	
Wetback connection:	<input type="radio"/> New <input type="radio"/> n/a <input type="radio"/> Existing	Hearth construction type:	
Hearth thickness:		Specify the fixings of the hearth:	
What is the floor constructed of?	<input type="checkbox"/> n/a	Specify air gap between hearth and floor:	<input type="checkbox"/> n/a
Height of flue above roof ridge:		Will the installation require new penetration through the roof or exterior wall? <small>If yes, specify the material the penetration will be made through</small>	<input type="radio"/> No <input type="radio"/> Yes
Type of flue kit:		Distance from outer flue shield to framing timbers:	
Will the flue termination be more than 3m from any structure, including neighbours buildings?	<input type="radio"/> No <input type="radio"/> Yes	Will the flue pass through more than one storey?	<input type="radio"/> No <input type="radio"/> Yes

Will the proposed appliance need to be installed closer to combustible material than manufacturers recommendations?	<input type="radio"/> No – continue to section 8 <input type="radio"/> Yes		
Distance hearth projects from the front of the heater:		Distance hearth projects from the side of the heater:	
Distance from the centre of the chimney to the walls:		Distance from the back of the heater to the wall:	
Is the heater installed on an angle to the walls?	<input type="radio"/> No <input type="radio"/> Yes		
Provide method of wall protection if required:			

**8. THE BUILDING WORK WILL COMPLY WITH THE BUILDING CODE AS FOLLOWS:**

- You are required to indicate what code clause(s) your building work complies with.
- Unless otherwise noted below, your application will be assessed under Acceptable Solutions.
- If you are using another means of compliance, please provide details of the standard(s) that your building work complies with and the means of compliance in the space provided. Use a separate sheet of paper if necessary.
- If you do not provide all the necessary information to show how your application complies with the Building Code, it will be returned unprocessed.

<input checked="" type="checkbox"/> B1 - Structure	<input checked="" type="checkbox"/> B2 - Durability	
<input type="checkbox"/> C1 – Outbreak of fire	<input type="checkbox"/> C2 – Prevention of a fire occurring	<input type="checkbox"/> C3 Fire affecting areas beyond fire source
<input type="checkbox"/> C4 Movement to a place of safety	<input type="checkbox"/> C5 Access & safety for firefighting operations	<input type="checkbox"/> C6 Structural stability
<input type="checkbox"/> D1 Access routes	<input type="checkbox"/> D2 Mechanical installations for access	
<input checked="" type="checkbox"/> E1 Surface water	<input type="checkbox"/> E2 External moisture	<input type="checkbox"/> E3 Internal moisture
<input type="checkbox"/> F1 Hazardous agents on-site	<input type="checkbox"/> F2 Hazardous building materials	<input type="checkbox"/> F3 Hazardous substances and processes
<input type="checkbox"/> F4 Safety from falling	<input type="checkbox"/> F5 Construction & demolition hazards	<input type="checkbox"/> F6 Visibility in escape routes
<input type="checkbox"/> F7 Warning systems	<input type="checkbox"/> F8 Signs	<input type="checkbox"/> F9 Restricting access to residential pools
<input type="checkbox"/> G1 Personal hygiene	<input type="checkbox"/> G2 Laundering	<input type="checkbox"/> G3 Food preparation & prevention of contamination
<input type="checkbox"/> G4 Ventilation	<input type="checkbox"/> G5 Interior environment	<input type="checkbox"/> G6 Airborne & impact sound
<input type="checkbox"/> G7 Natural light	<input type="checkbox"/> G8 Artificial light	<input type="checkbox"/> G9 Electricity
<input type="checkbox"/> G10 Piped services	<input type="checkbox"/> G11 Gas as an energy source	<input type="checkbox"/> G12 Water supplies
<input type="checkbox"/> G13 Foul water	<input type="checkbox"/> G14 Industrial liquid waste	<input type="checkbox"/> G15 Solid waste
<input type="checkbox"/> H1 Energy efficiency		
<input type="checkbox"/> Backcountry Huts		
Provide details of all Verification Methods being used. <i>(Include relevant code clause and means of compliance)</i>		
Provide details of all Alternative Solutions being used. <i>(Include relevant code clause and means of compliance or details of any waivers and modifications, including code clauses)</i>		



**9. COMPLIANCE SCHEDULE**

Are there any specified systems in the building? Residential cable cars are considered specified systems, see SS16

Yes  No – Go to section 10

You need to provide information on the specified systems contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent.

For more information on how to complete this section, see MBIE's Compliance Schedule Handbook

What is the existing compliance schedule number? (if applicable)	
Risk Group: (for more information, see C/AS2)	
Total occupancy numbers:	
Highest fire hazard category for building use (insert number)	

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

Specified System	Existing	Altered	Added / New	Removed	n/a	Performance Standards Acceptable Solution, Verification Method, Standard or specific document	Inspection Procedures may be identified by a written description, or a reference to a Standard or other document	Maintenance procedures may be identified by a written description, or a reference to a Standard or other document	Reporting procedures may be identified by a written description, or a reference to a Standard or other document	Responsibility List persons/ companies for the adjacent procedures
SS1 Automatic system for fire suppression	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS2 Automatic or manual emergency warning systems for fire or other dangers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					

Specified System	Existing	Altered	Added / New	Removed	n/a	Performance Standards	Inspection	Maintenance	Reporting	Responsibility
SS3 Electromagnetic or automatic doors or windows										
SS3.1 Automatic doors	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS3.2 Access control doors	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS3.3 Interfaced fire or smoke doors or windows	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS4 Emergency lighting systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS5 Escape route pressurisation systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS6 Riser mains for use by fire services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					



Specified System	Existing	Altered	Added / New	Removed	n/a	Performance Standards	Inspection	Maintenance	Reporting	Responsibility
SS7 Automatic backflow preventers connected to a potable water supply	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS8 Lifts, escalators, travellators, or other systems for moving people or goods within buildings										
SS8.1 Passenger-carrying lifts	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS8.2 Service lifts	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS8.3 Escalators and moving walkways	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS9 Mechanical ventilation or air-conditioning systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS10 Building maintenance units providing access to exterior and interior walls of buildings	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS11 Laboratory fume cupboards	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					

SS12 Audio loops or other assistive listening systems										
SS12.1 Audio loops	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
SS12.2 FM radio frequency and infrared beam transmission systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
SS13 Smoke control systems										
SS13.1 Mechanical smoke control	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
SS13.2 Natural smoke control	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
SS13.3 Smoke curtains	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
SS14 Emergency power systems for, or signs relating to, a system or feature specified in SS1-13										
SS14.1 Emergency power systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
SS14.2 Signs for systems	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	



Specified System	Existing	Altered	Added / New	Removed	n/a	Performance Standards	Inspection	Maintenance	Reporting	Responsibility
SS15 Any or all of the following systems and features, so long as they form part of a building's means of escape from fire, and so long as those means also contain any or all of the systems or features specified in clauses 1 to 6, 9, and 13:										
SS15.1 Systems for communicating spoken information intended to facilitate evacuation; and	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS15.2 Final exits As defined by clause A2 of the building code	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS15.3 Fire separations	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS15.4 Signs for communicating information intended to facilitate evacuation	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS15.5 Smoke separations	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					
SS16 Cable car <i>All buildings with a cable car, including single residential buildings, require a compliance schedule.</i>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>					

## 10. HAVE YOU ATTACHED ALL THE REQUIRED DOCUMENTS?

Please include the following document as part of your application. Additional documents might be requested as part of the assessment of your application. Incomplete applications may be returned unprocessed.

### Proof of ownership

- Copy of Record of Title
- Copy of Lease Agreement
- Agreement for Sale & Purchase
- Other document showing the full name of the legal owner(s)

- Project Information Memorandum (PIM)
- Certificate attached to PIM
- Development Contribution Notice
- Plans, specifications and other supporting information *(Include information on the compliance method, e.g. where the work deviates from an Acceptable Solution method.)*
- Memorandum from Licensed Building Practitioner – Certificate of Design Work (Form 2A)
- Statutory Declaration as to Owner Builder Status (Form 2B)

## 11. APPLICATION FEES

The Council/ Building Consent Authority (BCA)/ Territorial Authority (TA) will charge a fee for your application and any subsequent work involved in processing your application. The fee will include statutory levies payable to BRANZ and the Ministry of Business, Innovation and Employment.

## 12. ACKNOWLEDGEMENTS


The information you have provided on this form is required so that your application or the building consent it relates to can be processed under the Building Act 2004. The Council, Territorial Authority (TA) or Building Consent Authority (BCA) collates statistics relating to building work and has a statutory obligation to provide information to third parties. The information is stored on a public register, which must be supplied to whoever requests the information. Under the Privacy Act 2020, you have the right to see and correct personal information the Council, TA and BCA hold about you.

In providing this information, you agree to your details being used for customer surveys carried out by the Council, TA or BCA.

All the information contained in the application is, to the best of my knowledge, true and correct.

I request that you issue a project information memorandum, project information memorandum and building consent, or building consent for the building work described in this application.

- I understand that this application is to be assessed against Acceptable Solutions unless otherwise stated in section 8.
- I understand that work must not commence until the building consent is issued and uplifted.
- I understand that this application may only be made with the owner's approval.

Full name:	Paul Gardener (under delegated authority as acting CEO)
Signature: <i>Digital signatures acceptable</i>	
Date:	20/10/2022



**Appendix A – List of those involved in the build**

Complete if additional space is required for Section 4

Name:		Entity or Company:	
Licensing class:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

Name:		Entity or Company:	
Licensing class:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

Name:		Entity or Company:	
Licensing class:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:

Name:		Entity or Company:	
Licensing class:		LBP or Registration number:	
Email:			
Street Address:		Mailing Address: <i>If different from street address</i>	
Contact numbers	Mobile:		Other:



# SOUTH WAIRARAPA DISTRICT COUNCIL

Resource Consent: 220149

27 October 2022

South Wairarapa District Council  
PO Box 6  
Martinborough 5741

Dear South Wairarapa District Council

**APPLICATION FOR RESOURCE CONSENT TO ESTABLISH A NEW DOG POUND IN BUILDING  
LARGER THAN 25M2  
23 Viles Road, Featherston  
LOT 2 DP 28698 BLK III WAIRARAPA SD  
NOTIFICATION OF COUNCIL'S DECISION**

In accordance with the provisions of Section 114 of the Resource Management Act, please find enclosed a copy of Council's decision on the abovementioned application.

This resource consent commences immediately, unless you lodge an appeal against it (in which case it will not commence until the appeal has been determined or withdrawn).

It is very important that you understand and comply with all the conditions of your consent. If you have any questions or concerns about any aspect of your consent or its conditions, I would be happy to discuss them with you.

Please note that under section 125 of the Resource Management Act 1991 your consent will lapse in five years unless you give effect to it before then.

Your attention is drawn to the provisions of Section 120 and 121 of the Resource Management Act 1991, which sets out the rights and procedure of appeal against the Council's decision. You have 15 working days from the date you receive this letter of notification within which to lodge your appeal. Your appeal should contain a statement as to what part of the consent you object to and why.

If you have any questions, please feel free to contact me.

Yours faithfully,

[Redacted signature]

[Redacted contact information]

[Redacted email address]@swdc.govt.nz



# **Contract, tenders and procurement**

## CONTRACT – Lump Sum

Between:

Client:

Between: South Wairarapa District council, 19 Kitchener Street, Martinborough, South Wairarapa, New Zealand., C/O Mr Rick Mead - 06 306 9611 / [REDACTED]  
[REDACTED]@swdc.govt.nz.

Contractor:

1Geo Ltd, Main Office Contact, 10, Garlands Rod, Woolston, Christchurch,  
postal address PO Box 17680, Sumner, Christchurch, New Zealand  
Contract contact details

Project Location

90% Unit 2 10 Garlands Road, Christchurch. On site delivery 10%  
Featherston, SWDC land holdings to be defined.

Date

14/09/2021

Description

Dog Kennel Container Fabrication and fitout.

The following project is to fabricate, manufacture & fitout a compliant dog kennel structure which houses 4no individual dog kennel units an access corridor with a separate welfare room & storage unit. The proposal as information provided by SWDC is to deliver a portable unit being a 20ft high top container fully furnished & delivered to site in site entirety. Site works will be required for establishment & installation of foundation piles, the site is yet to be confirmed.

Access:

Access to site is to be easily driven upon

Detail of works

1. Trade cost breakdown: attached

Preliminaries & General costs including Scaffolding



Heating, Ventilation

- Supply and install air in take HVAC - Incl. all required penetrations
- Supply and install heat pump - Incl. all required penetrations.

Painting

- Exterior painting to external surfaces

Floor Coverings

- Supply and apply sika 264 -SL or similar floor resin, to be advised by engineer and design scope.
- E.V. for upstands
- E.V. floor coving including extrusion and pressure strip

External works

- Establish 8 x piles to site to allow for container to be established.
- All survey works if any to be borne by SWDC.

Insurances.

Contract insurance as follows.

Off site

- Contractual items to be insured by 1 Geo Ltd.
- SWDC to hold contract cover for items on attached schedule claimed.
- Off Site location of insurance: 10/ unit 2 Garlands Road, Woolston, Christchurch.
- On Site Location for insurance, Featherston , South Wairarapa, New Zealand.( TBA)

Trade Detail						
Quote for South Wairapa 20ft Container dog Kennel (Option 1)						
Item	Description of works	Qty	Unit	Rate	Subtotal	Factor
1	Preliminaries & General costs including Scaffolding					
	Site establishment /					
	Disestablishment	1.00	item			
	Transportation	1.00	item			
	Obtain suitable high top steel container	1.00	item			
	Producer Statement from contractor (PS3)	1.00	item			
	Project Management	18.00	hrs			
						Item 1 - Preliminaries and C

2	<b>Fees</b> Engineer to review design fees Council fees Note: PS1 and PS4 excluded	1.00	item	Excluded		Item :
3	<b>Foundations</b> Site scrap and preparation Supply and install 1m deep foundation piles (timber SED or post TBC) including all required works auguring, concrete etc. Fabricate, supply and install additional strengthening point to bottom of container Sub-floor - 19mm plywood packed including bearers where required Supply and install polystyrene insulation to underside of container Note: Ground conditions assumed good.	Excluded				Item 3 - Found
		8.00	no.	Excluded		
		1.00	item			
		14.30	m <sup>2</sup>			
		14.30	m <sup>2</sup>			
4	<b>Drainage</b> Supply and install drainage points to kennel Supply piping and sling to underside of the unit <b>Trench Excavation</b> Trench for 100DN pipes, excavating soft soil not exceeding 1.5m depth and backfill. Connection to stormwater outlet	Excluded				Item 4 - Di
		Excluded				
		Excluded				
		Excluded				
5	<b>Structure</b> <b>Walls</b>					



	Supply and install 50mm EPS panels to internal wall linings.	39.56	m <sup>2</sup>		
	<b>Dividing kennel walls</b> Fabricate, supply and install EPS dividing walls incl. all fixings and fixtures	3.00	no		
	<b>Corridor framing</b> Fabricate, supply and install stainless steel mesh framing for corridor Includes doors, hinges and hardware	14.52	m <sup>2</sup>		
	<b>Roofing</b> Supply and install 50mm EPS panels to internal wall linings.	14.30	m <sup>2</sup>		
	<b>Ceiling</b> Supply and install 50mm secondary ceiling panel E.V. Rondo perimeter channel	14.30	m <sup>2</sup>		
	Millenianious Beading Sika flexi or equivalent	17.30	m		
		1.00	item		
					Item 5 - Str
6	<b>Roofing (Not Applicable)</b>				
7	<b>External, linings &amp; cladding (Not applicable)</b>				
8	<b>External, windows &amp; doors</b>				
	<b>Windows</b> Supply 1200 x 500mm Approximately	2.00	item		
	<b>Doors</b> Supply 900 x 1980mm Approximately Manufacture Guillotine doors Including hardware	1.00	item		
	<b>Sundries</b>	4.00	item		

	Labour to plasma cut window holes and doors Labour to install windows and doors Allowance for reveals and flashings	1.00	item			
		28.50	hrs			
		1.00	sum			
<b>Item 8 - External, winc</b>						
9	Insulation (Included in wall lining)					
10	Plumbing & Gas (Excluded)					
11	Electrical Electrical. Isolated power point inside, Separate switch LED Lights in each kennel and corrior. External light. Including HVAC connections Eletrical connection Excluded	1.00	item			
<b>Item 11 - El</b>						
12	Internal doors & hardware					
<b>Item 12 - Internal doors &amp; ha</b>						
13	Internal wall finishes (Not Applicable)					
14	Joinery (Not Applicable)					
15	Heating, Ventilation Supply and install air in take HVAC - Incl. all required penetrations Supply and install heatpump - Incl. all required penetrations	1.00	item			
		1.00	item			
<b>Item 15 - Heating, Ventilati</b>						



16	Tiling (Not Applicable)					
17	<b>Painting</b>					
	<i>Walls</i> Paint internal doors and frames	N/A				
	<i>Ceilings</i> Paint ceilings	N/A				
	<i>External Painting</i> Exterior painting to external surfaces	62.52	m <sup>2</sup>			
						Item 17 - P
18	<b>Floor Coverings</b>					
	Supply and apply sika 264 -SL or similar floor resin	14.30	m <sup>2</sup>			
	E.V. for upstands	28.46	m			
	E.V. floor coving incl extrusion and pressure strip	28.46	m			
						Item 18 - Floor Co
19	Appliances (Not Applicable)					
20	<b>External works</b>					
	<i>Stairs</i> Excluded - To be completed by others					
						<b>All Trade detail TOTAL (G)</b>

(c.) Payment Terms:

Payable upon 7 days from receipt of invoice.

Progress Payments Invoiced fortnightly payable upon 7 Days from receipt of invoice.

(d.) Contract Acceptance:

**Contract Total: \$ [REDACTED] plus gst, C [REDACTED]**  
**[REDACTED]**

Calculated claim estimates based on schedule attached.

Signing	31%
M1	28%
M2	26%
M3	15%

Signed Customer:..... Signed 1Geo  
Ltd:.....

Date:.....

Date:.....

Witnessed:.....

Witnessed:.....

Address of witness:..... Address of  
witness:.....

.....

.....

(e.) Contracts:

**Inclusions / Exclusions:**

- a. We have made no allowance for council building consent fees.
- b. We have made no allowance for site works other than as follows. We estimate site establishment and installation of 8no 400 mm x 400mm deep piles ( non-credit attribute or price)
- c. Option engineering PS1 and PS4 sign off is estimated at \$ [REDACTED] +GST. The above contract value does not allow for engineering fees.
- d. We have made no allowance for connection of services, trenching services or the like.
- e. 1Geo Ltd will at all times follow any council, occupational and safety and local laws applicable to the site.



- f. quantities as supplied by the client & no works outside this scope have been allowed for.
- g. No liquidated damages or other costs not outlined prior to the contract will be borne by 1Geo Ltd.
- h. No retentions are to be held by the client.
- i. Provided areas are an entire job lot basis & cannot be separated or apportioned.
- j. All extras to the contract will be charged at the allocated and enclosed rates.
- k. All contracts must be approved for start within 5 days of acceptance.
- l. All Contracts are valid for 15 days. prior to signing.
- m. All materials, services and product remain property of 1Geo Ltd until paid for.
- n. This contract is a lump sum fixed price contract to complete works as the trade summary and quotation breakdown provided with this quotation letter.

S7(2)A

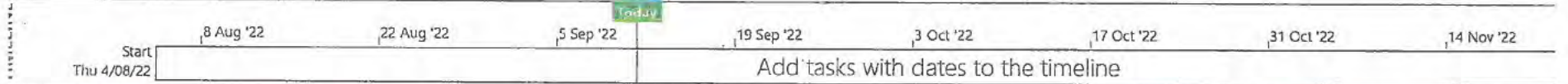
FIXTURE POINTS FOR RUNS (KLEETS)  
CORRIDOR WIDTH.

26 PANELS (SOLAR)

40 FOOT CONTAINER FOR STORAGE.



logpound timeline



Task Mode	Task Name	Duration	Start	Finish	Predecessor
1	container delivery	10 days	Mon 8/08/22	Fri 19/08/22	
2	survey container ( measure and Value )	2 days	Fri 19/08/22	Mon 22/08/22	
3	Decant and strip interior, prepare for spray	3 days	Tue 23/08/22	Thu 25/08/22	
4	Procure windows.	1 day	Fri 12/08/22	Fri 12/08/22	
5	Procure Door	1 day	Fri 12/08/22	Fri 12/08/22	
6	Cut Sectional Interior framing	24 days	Tue 23/08/22	Fri 23/09/22	
7	Order and delivery of stainless steel.	12 days	Tue 23/08/22	Wed 7/09/22	
8	Internal linings ordered	2 days	Mon 5/09/22	Tue 6/09/22	
9	Move unit to Ensores road	1 day	Tue 13/09/22	Tue 13/09/22	
10	Insulation procut and delivery	24 days	Fri 2/09/22	Wed 5/10/22	
11	Wall framing fitout	10 days	Tue 13/09/22	Sat 24/09/22	
12	Fit out ceiling diaphrame	11 days	Wed 21/09/22	Wed 5/10/22	
13	Respary interior and exterior of unit	8 days	Tue 6/09/22	Thu 15/09/22	
14	Fabrication cut and fit steel	20 days	Tue 13/09/22	Mon 10/10/22	
15	Fit door	2 days	Mon 26/09/22	Tue 27/09/22	
16	pre frame floor	7 days	Mon 26/09/22	Tue 4/10/22	11
17	Internal lining delivered to site	3 days	Thu 6/10/22	Mon 10/10/22	
18	Ply lining to floor	5 days	Wed 5/10/22	Tue 11/10/22	16
19	surface to floor	5 days	Wed 12/10/22	Tue 18/10/22	18
20	Fabricate stainless door frames	11 days	Mon 26/09/22	Mon 10/10/22	
21	Fit windows	15.19 days	Wed 28/09/22	Wed 19/10/22	15
22	Insert stainless doors	4 days	Tue 11/10/22	Fri 14/10/22	20
23	Electrical prewire	2 days	Fri 7/10/22	Mon 10/10/22	25
24	Heat pump prewire	2 days	Fri 7/10/22	Mon 10/10/22	25
25	Wall lining fitout	12.5 days	Tue 11/10/22	Thu 27/10/22	13,11,17
26	Fit off HVAC	3 days	Sat 29/10/22	Tue 1/11/22	25
27	Fit off Electrical	3 days	Thu 27/10/22	Tue 1/11/22	25
28	Final fit off items	7 days	Tue 1/11/22	Thu 10/11/22	27
29	freight to South Wiararapa	5 days	Thu 10/11/22	Wed 16/11/22	28
30	Establish to site and tie to foundations	4 days	Thu 17/11/22	Tue 22/11/22	29
31	commision	4 days	Wed 23/11/22	Mon 28/11/22	30
32					
33					
34	40 ftr service modual				
35					
36	container delivery	10 days	Mon 8/08/22	Fri 19/08/22	
37	survey container ( measure and Value )	2 days	Fri 19/08/22	Mon 22/08/22	
38	Procure windows.	1 day	Sat 10/09/22	Sat 10/09/22	
39	Procure Door	1 day	Sat 10/09/22	Sat 10/09/22	
40	Internal linings procured	2 days	Mon 12/09/22	Tue 13/09/22	
41	Respary interior and exterior of unit	8 days	Sun 18/09/22	Tue 27/09/22	
42	Move unit to Ensores road	1 day	Sun 18/09/22	Sun 18/09/22	
43	Wall paneling to rear of container	16 days	Sun 18/09/22	Fri 7/10/22	
44	Fabrication cut and fit steel	20 days	Tue 13/09/22	Mon 10/10/22	
45	Fit door	2 days	Tue 27/09/22	Wed 28/09/22	
46	Fit window x 1	4 days	Wed 28/09/22	Mon 3/10/22	45
47	Electrical prewire	2 days	Fri 7/10/22	Mon 10/10/22	48
48	Wall lining fitoff	4 days	Tue 11/10/22	Fri 14/10/22	43,41
49	Final fit off items	8 days	Sat 15/10/22	Tue 25/10/22	
50	freight to South Wiararapa	4 days	Thu 27/10/22	Tue 1/11/22	49
51	Establish to site and tie to foundations	4 days	Wed 2/11/22	Mon 7/11/22	50
52	commision	4 days	Tue 8/11/22	Fri 11/11/22	51
53					
54					

4/10  
24/9  
CRITICAL PATH

16/11

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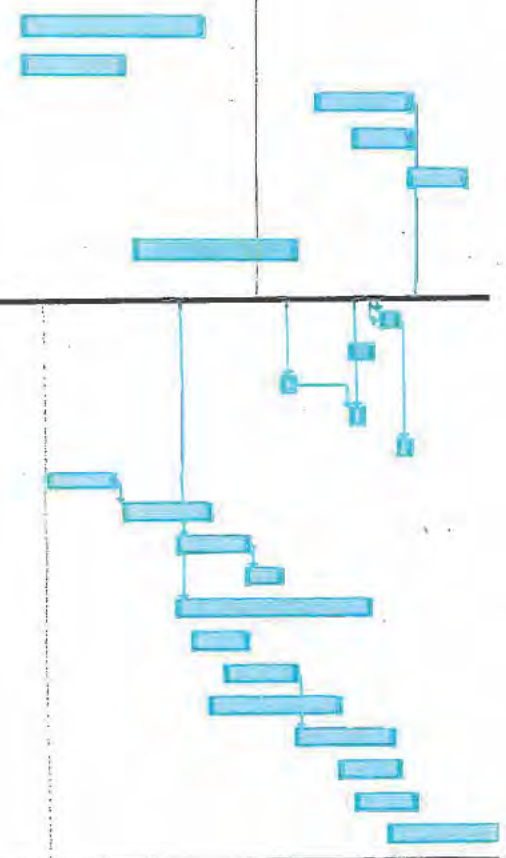
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Project Timeline

Acquisition of contract area	21 days	Thu 4/08/22	Thu 1/09/22	
Commision of subcontractors	12 days	Thu 4/08/22	Fri 19/08/22	
Earthworks to contract .	11 days	Wed 21/09/22	Wed 5/10/22	
Road formation	7 days	Tue 27/09/22	Wed 5/10/22	
Poles to lighting standins	7 days	Thu 6/10/22	Fri 14/10/22	
Start of dog run Marine manufacture	20 days	Mon 22/08/22	Fri 16/09/22	
Main dog pound 20ftr complete for sign off	1 day	Tue 1/11/22	Tue 1/11/22	
Main dog pound 20ftr establish to site	3 days	Mon 14/11/22	Wed 16/11/22	67,30
Piles to container positions	4 days	Tue 8/11/22	Fri 11/11/22	
Main dog pound 40ftr complete for sign off	2 days	Wed 26/10/22	Thu 27/10/22	49
Main dog pound 40ftr establish to site	2 days	Tue 8/11/22	Wed 9/11/22	51,70
install dog run	2 days	Thu 17/11/22	Fri 18/11/22	68
Dog run R Marine . Materials delivery	10 days	Mon 12/09/22	Fri 23/09/22	
Dog run R Marine . Construction	12 days	Mon 26/09/22	Tue 11/10/22	73
Earthworks driveway in.	9 days	Thu 6/10/22	Tue 18/10/22	62
Earthworks foundation pads.	4 days	Wed 19/10/22	Mon 24/10/22	75
fencing to external areas	26 days	Thu 6/10/22	Thu 10/11/22	62
Water tank placement	8 days	Sun 9/10/22	Tue 18/10/22	
Placement of main unit. 20ftr	10 days	Sat 15/10/22	Thu 27/10/22	
Sewer line and effluent placement	18 days	Wed 12/10/22	Fri 4/11/22	
Placement of secondary unit. 40ftr	12 days	Fri 28/10/22	Mon 14/11/22	79
Solar infrastructure main yard area.	8 days	Sat 5/11/22	Tue 15/11/22	
Solar infrastructure install to 20ftr	9 days	Tue 8/11/22	Fri 18/11/22	
SWDC signoff for CPU	16 days	Mon 14/11/22	Mon 5/12/22	



5/10 ←

←

AP 40



The following executive summary is designed to acquaint the reader with the tender submission and is as follows;

1Geo Ltd are an Upper South & North Island based civil construction company solely focused on the land based geotechnical remediation, foremostly construction of complex retaining walls and E/Q Strengthening involving custom metal work, manufacturing and fabrication.

1Geo Ltd have provided methodologies & timelines in this tender document to a high level of accuracy. The initial tender proposal is to be deemed "in draft" & an initial guideline for works to site. If successful in winning the tender, 1Geo Ltd will review site conditions as at the date of acceptance & re-submit draft methodologies and timelines as final submission. If accepted, the Council will benefit from 1Geo Ltd being the contractor as follows;

Our comprehensive safety culture, procedures and quality assurance programmes overarched by the company's qualification in the AS/NZS 4801:2001 create a robust and accountable contracting platform. This platform is focused on a quality product being undertaken in a safe, timely, budget driven manner. Our companies drive is to create a minimum impact to the public simultaneously providing maximum efficiency within the contract allowing a seamless construction experience.

The contract will have a site-specific safety plan. This document includes all health and safety forms required to complete tasks in a safe manner as per the 1Geo health & safety policy. Daily toolbox talks will be completed by 1Geo staff & client representatives are required to be inducted into site. Review with the Client will be required before any works commence & fortnightly meetings are to be undertaken. If required daily contact with the program director & mandatory keeping the client & public up to date with the programme of works.

Our SSSP is a live document. Each specific task is recorded in our hazard register with a risk assessment, hazard identification, task analysis and site controls to eliminate or minimise hazards. On-site will also be an anonymous reporting system for any staff who wish to raise feedback in confidence. Daily sheets record actual methodology for each task at hand. What tools are in use and what controls are needed. Exclusion zones for machinery are an hour by hour process, these will include RED ZONES, ORANGE ZONES & GREEN ZONES. Hot works & dig permits are a daily requirement as are excavator check lists. 1Geo have eleven years heavy civil construction experience in a highly controlled field in the formidable earthquake zones of the North and upper South Islands. 1Geo & its sister companies have over 27 years of experience in this field & are versed in all aspects of contracting & civil construction. Further to this we have achieved a very high degree of quality systems within the organisation to allow the company to grow conforming to our mission statement.


### **Benefits as below:**

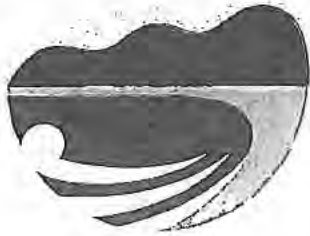
- 1. Safety:** We are led from the director and health and safety manager down. All staff are trained, are conscious of safety and making all elements of construction safe for the visitors to site, for the construction staff and for neighbours and pedestrians around the site.
- 2. Environmental Controls:** The companies AS/NZS 4801:2001 qualification is focused on creating environmental controls that are designed to protect staff, public and for mostly the immediate physical environmental areas under construction.
- 3. Traffic and Public management.** Our inhouse staff are trained STMS, TC and inhouse trained public co Ordinator's. We take the public seriously and aim to give the client nothing but positive feedback.
- 4. Experience and knowledge.** All our staff are experienced with retaining structures, all staff are PAYE (Employed by 1Geo). We employ our own general and small consultancy engineering departments that controls and expect a high-quality environment within the group for all works we complete. We have delivered a wide range of structural solutions are known for our "out of the Box" thinking to get the job done.



5. **Value Added Construction** 1 Geo Ltd will get the project completed on-time, to budget and to a high of quality. We have strong minded staff that endeavour to better themselves and strive for the most perfect quality possible no matter what the project. Our highly trained Quantity surveyors are versed in identifying issues before they arise.
6. **Reliable and Integral** We are a group of trained professionals who care for our client and care for the work we complete. The 1Geo brand name to the group, our customers and onlookers stands for excellence. We are known to work through all weather conditions if required to get the work done when faced with any challenge that both nature and the public give us, we work through them to create the desired result.
7. **Collaboration:** The 1Geo team believe strongly in collaboration within the team, clients, client's representative, our suppliers and neighbours to the site. We believe in partnering the client, the public & our staff.

## Financial Viability and Organisational Fit

Item	Detail
Trading / Legal name:	1 Geo Ltd
Postal address:	P.O. Box, 17680, Sumner, CHCH
Registered office:	119 Blenheim Road, Riccarton, Christchurch
Business website:	1geo.co.nz
Type of entity (legal status):	Limited Liability Company
Registration number:	7677499
Country of residence:	NZ
GST registration number:	
Number of Employees	44
Financial statement	As client request (agreed)
Ownership	Trust Company / Director
History	From small beginnings in retaining walls, hillside excavation and rock breaking, 1Geo has significantly expanded its expertise to include deconstruction, demolition, site development, civil infrastructure and fabrication projects nationwide
Core Areas of Business (Based on Previous year)	Retaining walls: 70% Christchurch Fabrication Workshop: 20% Deconstruction and Demolition and Asbestos removal: 5% Earthworks: 5%



**SOUTH WAIRARAPA  
DISTRICT COUNCIL**  
*Kia Reretahi Tātau*

**South Wairarapa District Council**  
**Pound Construction**  
**Request for Proposal (RFP) V2**

Prepared by:  
- The *Integral* Group Limited -

**18 May 2022**

The *Integral* Group Ltd



Commercial in Confidence



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## 1. Introduction

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### Introduction

South Wairarapa District Council (SWDC) are going to market to:

- Construct a purpose-built pound building based on a shipping container structure

SWDC have engaged The *Integral* Group Limited (TIGL) to assist with this process. TIGL's role is to facilitate the procurement process, assisted by subject matter expertise provided by the council.

The process is a two staged open market process:

- Registration of Interest (ROI)
- Request for Proposal (RFP)

SWDC have run the ROI and selected a short list to proceed through to the RFP.

This RFP is the next formal phase in this review and will include:

- a written response in regard to:
  - the declarations
  - the resources question (team, skills, knowledge)
  - pricing
- a Teams call with the evaluation team (1 hour long) to discuss the remaining questions (proven track record, methodology etc)
- respondents will be evaluated, and preferred respondents selected

The outcome for this procurement will be:

- a preferred respondent to design and supply a purpose-built pound building based on a shipping container structure.

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### Contract Term

The contract shall be for the duration required to complete the detailed design, construction and delivery.

---

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## 1. Introduction, Continued

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### **The Act**

The Animal Welfare Act 1999 provides for the welfare of animals in New Zealand. It puts obligations on people who own or are in charge of animals to provide for the welfare of their animals. The Act establishes the fundamental obligations relating to the care of animals and provides for the development and issue of codes of welfare.

Codes of Welfare expand on the basic obligations of the Act by setting minimum standards and recommending best practice for the care and management of animals.

Regulations are prescribed under the Animal Welfare Act and impose enforceable requirements on owners and persons in charge of animals. Owners and persons in charge of animals are responsible for ensuring that they are aware of and understand all Act and regulatory requirements. Failure to meet a minimum standard in this Code may be used as evidence to support a prosecution for an offence under the Act.

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*Continued on next page*

## 1. Introduction, Continued

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### Project objectives

The objectives for a project of this type are:

- have fun – make this a positive experience for all parties involved and create opportunities out of any challenges
  - enhance the council’s reputation as a procurer and manager of goods and services with:
    - the city and district
    - councillors
    - customers, businesses and rate payers
    - tourists and visitors
    - contractors and suppliers
    - staff
    - Audit NZ
    - relevant Government Agencies - MPI
    - other councils
    - iwi
  - get the optimal solution for the council in terms of:
    - value for money
    - fit for purpose and quality construction that meets the specifications
    - timeliness
    - meeting statutory and regulatory requirements
  - set-up arrangements that advantage the council in the medium to long term by:
    - having flexible arrangements that allow beneficial actions in the future
    - ensuring efficient models with suppliers
  - be consistent with the council’s long-term strategies
  - learn and capture lessons from the process
- 

### Underlying Objectives

The underlying objectives for this type of process are:

- know what you want and need
  - attract the best suppliers and choose the right ones
  - run a fair and transparent process and run it well
  - the outcome is easy to administer
  - the business model is flexible to allow for changes in requirements (due to legislative changes etc)
  - the business model keeps pricing fair and competitive for all parties throughout the contract. Pay for what you get and get what you pay for
  - the business model encourages improvement and efficiency
- 

*Continued on next page*



## 1. Introduction, Continued

### Process

Stage	Status
ROI	Complete
Select a shortlist of suppliers to request to participate in the RFP process	Complete
Draft the RFP documents	Complete
Release the draft documents to the shortlist	Complete
Conduct a series of short (30 minutes) pre-RFP calls with the shortlist: <ul style="list-style-type: none"> <li>▪ to clarify any questions in regard to the RFP documents</li> <li>▪ to identify any parts of the RFP documents that need updating to better reflect what is required</li> <li>▪ to identify any gaps in the RFP documents</li> </ul> <p>The overall objective of these meetings is to provide suppliers with the best RFP documents we can</p>	Complete
Update and release the formal RFP	Complete
Respondents respond to the RFP	Current
RFP Evaluation: <ul style="list-style-type: none"> <li>▪ review the written RFP responses</li> <li>▪ conduct a 1.25 hour Teams call/workshop with each of the shortlisted respondents to cover the verbal questions and answers (rather than a full written RFP response)</li> <li>▪ evaluate the RFP responses to establish the preferred respondent to progress through to the contract set up phase</li> </ul>	<b>Monday 27 June 2022 Times to be confirmed</b>
Select the preferred respondent	
Contract set up. SWDC will enter into contract establishment with the preferred respondent. <p>In the event that the parties cannot agree the terms of the contract or SWDC do not approve the contract, SWDC reserves the right to enter into discussions with a third party or abandon the process.</p>	<b>4 July 2022</b>

## 2. Description of Services in Scope

---

### Services

The services required by this contract include:

- contract set up:
    - agree any health and safety plan required with SWDC
    - agree a relationship management plan with SWDC including meetings and reporting requirements through the project
    - agree key performance indicators (KPI)
    - agree final design, pricing model and responsibilities
    - agree the contract for construction
  - delivery of the services set out in the in-scope area
- 

### Services in Scope

The services covered but not limited to include:

- shop drawings design for pricing this response
  - detailed design
  - build the pound as per the agreed final specifications:
    - comments below
    - draft drawings are attached
  - deliver to site
- 

### Design & construction

A temporary housing facility needs to be designed, constructed, serviced, and maintained in a way that ensures the good health and well-being of the animals, while also preventing escape of animals and injury to animals. Housing needs to provide protection from weather (wind, rain, sun, and extremes of climate), vermin and harassment by other animals.

Housing systems and equipment must be designed, constructed, and maintained in a manner that allows animals to move around comfortably, without risk of injury, disease, or harm and enables them to meet their physical, health and behavioural needs.

In particular:

- all enclosures must be secure and be unable to be opened by animal occupants and/or accessed by other animals
  - observation windows should be provided in enclosures to enable animals to be watched as necessary without disturbance
  - kennels should be separated by partitions to preclude contact between animals
  - all temporary housing facilities are considered high-risk situations for the spread of contagious diseases
- 

*Continued on next page*



## 2. Description of Services in Scope, Continued

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**Container** A 20-foot container, preferably high cube, which cannot have been used previously for any hazardous substances. Minimum life span 10 years.

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**Kennels** 4 Kennels.

Kennels have a minimum standard to ensure that the dog has access at all times to an area (a laying area) that **Absolute Minimum size = 1.2m x 1.2m.**

Kennel requirements (all of the requirements below):

- is large enough to allow the dog to stand up, turn around, and lie down in a natural position
  - is fully shaded
  - is dry
  - is ventilated; and
  - provides the dog with protection from extremes of heat and cold
  - ensures that faeces and urine do not accumulate in any area in which the dog is kept
  - drainage port in each kennel. 100mm
  - guillotine doors for each kennel. Size 400m (w) x 600mm (h). Opening mechanism not operatable by animals internally or externally
- 

**Internal lining** Surfaces need to be able to be cleaned by scrubbing with hot water and then disinfected by chemical use on regular basis. After cleaning the animal housing areas such be left as dry as possible as quickly as possible. Minimal level of joints between materials to avoid corners/areas creating areas for pathogens to cultivate.

It is important that internal lining is insulated to reduce condensation.

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**Temperature** Temperature must be maintained at a level that provides for the health and welfare of the animals.

If this can be done via Wi-Fi/Cellular would be advantageous

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*Continued on next page*

## 2. Description of Services in Scope, Continued

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### Lighting

Lighting must be available and sufficient to enable thorough inspection of all animals and housing areas.

Light levels during inspection are sufficient to ensure that all animals in all parts of the facility are clearly visible.

Lighting should be installed safely and securely and be inaccessible to animals.

---

### Environmental air & water quality

Ventilation needs to provide fresh air and removes stale, contaminated air. It assists in the control of temperature and humidity and reduces the build-up of noxious gases (ammonia, methane, carbon dioxide, carbon monoxide), dust and other airborne particles.

The accumulation of water vapour, heat, noxious gases, and dust particles may cause discomfort or distress to animals and predispose them to the development of health issues.

Ventilation of facility must be sufficient to prevent the build-up of heat, humidity, dust, or noxious gases.

---

### Exterior footing attachments

The container will be placed on eight (8) 125 x 125 x 900 wooden piles. Welded exterior pile fixture lugs need to be attached to bottom of container. Twin sided fixture lugs need to be 10 x 125 x 125 x 200 long.

---



### 3. Submission & Evaluation Process

#### Contact person

General enquiries regarding the RFP process should be directed only to the Contact Person through the TenderLink portal. Contact person details are set out below for urgent situations.

Proposal submissions should also be through the TenderLink portal.

Direct approaches to SWDC or their staff without the consent of the contact person may result in you being disqualified from the review. Existing working relationships will obviously need to continue through the review and are acceptable.

#### Details

Name	[REDACTED]
Role	[REDACTED]
Mobile	[REDACTED]
Email	[REDACTED]@swdc.govt.nz

Deadlines	Area	Deadline
Questions	Questions should only be submitted via the TenderLink portal and can be submitted up to the deadline. Responses will be made via the TenderLink portal.	5:00 pm Thursday, 16 June 2022
Written response & Pricing	Written response required via the TenderLink portal is: <ul style="list-style-type: none"> <li>▫ the declarations in 5.1, 5.2 and 5.3</li> <li>▫ the Executive Summary in 6.0</li> <li>▫ questions 6.2.1 and 6.2.2</li> <li>▫ question 6.3.2</li> <li>▫ question 7.1</li> </ul> Pricing - separately attach the Pricing spreadsheet (7.0).  Response will need to be submitted via TenderLink by:	3:00 pm Thursday, 23 June 2022
Workshop / Teams Call	Suppliers will respond to the remaining questions in the RFP via a workshop / teams call (1 hour).	27 June 2022
Submission format	Please submit the following via TenderLink: <ul style="list-style-type: none"> <li>▫ soft copy of your response (word or PDF)</li> <li>▫ pricing spreadsheet</li> </ul> <b>Please include your company name in the filename for each</b>	

*Continued on next page*

### 3. Submission & Evaluation Process, Continued

Evaluation Team	Person	Skills
	[REDACTED]	<ul style="list-style-type: none"> <li>▫ key stakeholder</li> </ul>
	[REDACTED]	<ul style="list-style-type: none"> <li>▫ key stakeholder</li> </ul>
	[REDACTED]	<ul style="list-style-type: none"> <li>▫ evaluation team leader</li> <li>▫ procurement specialist</li> <li>▫ facilitator</li> </ul>

**Questions** All questions should be directed to the contact person.

Key points are:

- Any questions submitted verbally or in writing will be distributed to all respondents if deemed by us to be pertinent to all respondents.
- If you feel that your question contains confidential information, then this must be submitted with the question and in writing. We will assess the validity of the confidentiality;
  - if we agree, then your question and answer will not be circulated to other parties
  - if we do not agree then we will notify you and give you the opportunity to withdraw the question
  - if you choose not to withdraw the question we will respond and circulate the question and answer.

**Late proposals** Requests for extensions to the closing date are likely to be declined unless extenuating circumstances exist. Late proposals are unlikely to be considered, but may be if circumstances require.

**Clarification** The evaluation panel may seek clarification regarding your RFP, or request you to provide additional information during the evaluation process.

**Evaluation criteria** The evaluation criteria and weightings are set out below. All questions in this RFP relate to these criteria.

*Continued on next page*



### 3. Submission & Evaluation Process, Continued

**Non-Mandatory**

Areas	Rankings
<b>Proven Track Record</b>	<b>35%</b>
▪ building facilities from containers	90%
▪ pounds or MPI Animal Welfare Standards	10%
<b>Resources</b>	<b>30%</b>
▪ account manager	20%
▪ team	80%
▪ proven track record	
▪ skills and qualifications	
<b>Methodology</b>	<b>25%</b>
▪ methodology to deliver the services:	100%
▪ plan	
▪ deliver	
▪ quality	
<b>Value for Money</b>	<b>10%</b>
▪ costs- transparent pricing models	70%
▪ value add	30%
▪ sustainability	
▪ community	
▪ environmental	
▪ innovation	

\$ [Redacted]

## 4. Terms and Conditions

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### Acceptance of proposals

- This RFP should not be construed as an agreement to purchase goods or services
  - SWDC or TIGL are not bound to accept any RFP of those submitted
  - SWDC or TIGL will be under no obligation to receive further information, whether written or oral, from any respondent
  - Neither this RFP, nor the respondent's response to it, creates any obligation on SWDC or TIGL to enter into any agreement with the respondent or any third party. This RFP is an invitation to treat only and the respondents' submission is the respondents' offer to supply
  - The request for, and receipt of responses, does not imply any obligation on SWDC or TIGL to contract for any services included in any proposal. SWDC or TIGL will not be bound in any way until express acceptance of a respondent's offer occurs.
- 

### Reservation of rights

SWDC and TIGL reserve the right at any time to:

- cancel or amend the process or timetable
  - accept any or all of the proposals, whether in whole or in part
  - reject any or all of the proposals, whether in whole or in part
  - consider, accept or reject any proposal that does not fully comply with the RFP
  - not accept the highest scoring proposal
  - re-advertise for respondents
  - seek clarification or modification of any proposal during evaluation of proposals
  - meet with any respondent as part of the evaluation process in order to carry out an interview to obtain clarification of a respondent's proposal
  - not give any reason for the acceptance or non-acceptance of any proposal or the cancellation of this RFP process
  - waive and/or permit any irregularity or informality in the RFP process
  - require any of the respondents to re-submit a proposal on a revised or alternative basis
  - require any of the respondents to provide SWDC or TIGL with further information in connection with their proposal
  - consider, accept or reject late proposals
  - take into account the past performance of the respondent as a part of the evaluation.
- 

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## 4. Terms and Conditions, Continued

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**Confidentiality** All information provided in this RFP should be treated on a confidential basis and must not be disclosed to any other party or used for any purpose without the written consent of SWDC other than to respond to this RFP.

If you do not accept the terms of this confidentiality obligation, please notify the contact person in writing immediately upon receipt of this RFP.

---

**Expenses** You are solely responsible for any expenses incurred in preparing a proposal and for subsequent negotiations, if any. If SWDC elects to reject all RFPs, SWDC or TIGL will not be liable to any claims, whether for:

- costs or damages incurred by you in preparing the RFP
- loss of anticipated profit in connection with any final contract, or
- any other matter whatsoever

---

**Agreement with terms** By submitting a proposal you agree to all the terms and conditions of this RFP. The RFP received electronically must not be altered in any portion of the document, with the exception of adding the information requested. To do so will invalidate the proposal.

---

**Liability of errors** While SWDC and TIGL have endeavoured to provide an accurate representation of information in this RFP, the information contained in this RFP is supplied solely as a guideline. The information is not guaranteed or warranted to be accurate by SWDC or TIGL, nor is it necessarily comprehensive or exhaustive. Nothing in this RFP is intended to relieve you from forming your own opinions and conclusions with respect to the matters addressed in this RFP.

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*Continued on next page*

## 4. Terms and Conditions, Continued

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### Limitation of liability

The Respondent agrees that SWDC and TIGL and anyone that they are responsible for, are not liable to any respondent at law, by statute, in equity or otherwise arising from the relationship between the respondent and SWDC and TIGL for any loss, damage or injury incurred by the respondent arising directly or indirectly from the RFP process.

If, despite the other provisions of these RFP documents, SWDC and TIGL are found to be liable to any respondent then their liability for any single event or series of events is limited to the respondent's reasonable costs in preparing its proposal.

Notwithstanding any other provision in the RFP documents, the respondent agrees to indemnify and hold harmless SWDC and TIGL for any loss, damage or injury incurred by SWDC and TIGL arising directly or indirectly from any breach by the respondent of the respondent's obligations under the RFP documents.

---

### Intellectual property

You should clearly indicate if any part of your proposal constitutes intellectual property, in the sense of property recognised and protected by law. Any such claim will be assessed and you may be asked to establish your property interest before your claim is accepted.

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## 5.0 Response Guidelines

---

**Introduction** This section sets out the specific questions that SWDC require to be answered.

**We would encourage you to use this part of the RFP document as a template for your answers (that is, copy and paste the remainder of the document into your response).** What works well is leaving the questions in and supplying your answers in the tables provided.

Don't worry about trying to use the formatting that we have used, as we realise that sometimes causes problems with some suppliers.

**But please make sure you retain:**

- the question numbers as used in this RFP
  - the written question as used in this RFP, followed by your answer.
- 

**Special note # 1** Please note that there are no page limits on this response, however we would encourage you to make your response:

- as brief as possible
- as succinct as possible
- as easy to read as possible

Please make sure you read the question and answer it, but do not provide information that we have not asked for.

---

**Special note # 2** For this RFP we only require a written response for certain areas. We need:

- the declarations in 5.1, 5.2 and 5.3
- the Executive Summary in 6.0
- questions 6.2.1 and 6.2.2
- question 6.3.2
- separately attach the Pricing spreadsheet (7.0).

The remaining questions will be addressed in the Teams call. Please note the call might be recorded.

---



## 5.1 Supplier Details

<b>Organisation details</b>	Please provide details in regard to your organisation into the following table. This must be the same as in your ROI response.	
	<b>Organisation name</b>	1Geo Limited
	<b>Legal status</b>	Limited Liability Company

<b>Contact details</b>	Please provide details in regard to the contact person into the following table.	
	<b>Name</b>	[REDACTED]
	<b>Position within the organisation</b>	Quantity Surveyor / Contracts
	<b>Phone number</b>	[REDACTED]
	<b>Mobile phone number</b>	[REDACTED]
	<b>Email address</b>	[REDACTED]@1geotechnical.co.nz
	<b>Physical Address</b>	10c Garlands Road, Woolston
	<b>Postal Address</b>	P.O. Box 17680, Sumner, CHCH, 8081



## 5.2 Signatory

<b>Signatory</b>	Please complete and sign this page.	
	Our response is submitted with this signed page and we confirm that we have read and accepted all the terms and conditions included in this RFP document and have complied with all of SWDC s conditions as set out in the RFP documents.	
	We acknowledge that our proposal remains open for three months following the closing date of the RFP. SWDC will provide updates to the respondents at least once per month.	
	We acknowledge that we accept all of the terms and conditions and information requirements contained in this RFP.	
	Organisation name:	1Geo Limited
	Signatory's name:	
	Title (role title):	Quantity Surveyor / Contracts
	Signature:	
	Dated:	14.06.22

### 5.3 Conflicts of Interest Declaration

<b>Declaration</b>	Please declare if you have any known conflicts of interest with SWDC or members of the evaluation team. This should include any issues, claims or disputes you have or have had with SWDC.	
<b>No conflicts</b>	We do not have any known conflicts of interest	None
<b>Details</b>	If there are any known conflicts please note below:	



## 6.0 Executive Summary

---

<b>Introduction</b>	Please provide an executive summary that summarises the key points of your proposal. This should be one page maximum.
---------------------	-----------------------------------------------------------------------------------------------------------------------

---

<b>Executive summary</b>	Please refer attached executive summary PDF file.
--------------------------	---------------------------------------------------

---

## 6.1 Proven Track Record

---

**Introduction** SWDC are keen to work with providers that have a proven track record in delivering similar purpose-built facilities and delivering to site.

---

**Note** We would like to discuss Question 6.1 with you at the meeting. **We do not require written responses.**

---

<b>Question 6.1</b>	<p>SWDC wish to work with a provider who has a proven track record:</p> <ul style="list-style-type: none"> <li>▫ building facilities from containers</li> </ul> <p>Please keep in mind some case studies where you have provided similar services.</p> <p>We will discuss this with you.</p>
---------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

---

<b>Question 6.2</b>	<p>SWDC wish to work with a provider who has experience with:</p> <ul style="list-style-type: none"> <li>▫ pounds or MPI Animal Welfare Standards</li> </ul> <p>We will discuss this experience with you.</p>
---------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

---



## 6.2 Resources

**Introduction** SWDC want to make sure that the provider allocated to the contract has the appropriate key people, skills and qualifications. This question also looks at the team’s proven track record.

**Note** We require a **written response** to **Question 6.2**

<b>Question 6.2.1</b>	<p><b>Account Manager</b> – please set out:</p> <ul style="list-style-type: none"> <li>▪ your proposed account manager</li> </ul> <p>We will discuss their relevant experience on the Teams call.</p> <p><b>Account Manager</b> [REDACTED]</p>
-----------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

<b>Question 6.2.2</b>	<p><b>Team</b> - with regard to proven track record in relation to the services in scope, please set out the following:</p> <ul style="list-style-type: none"> <li>▪ your proposed team members:                             <ul style="list-style-type: none"> <li>• name</li> <li>• role</li> <li>• relevant skills / qualifications</li> <li>• experience</li> </ul> </li> </ul> <p>Please note that these roles and allocations should also be used in the Resources area in the pricing model.</p> <p>Please add more rows if required</p>
-----------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Role	Name	Skills / Qualifications	Experience
Project Manager	[REDACTED]	Director	20+ years
Site Manager	[REDACTED]	Over 20 years experience	20+ years experience
Lead Welder	[REDACTED]	Ex Marine Welder	12+ years employee 30+ years experience All welding techniques / types
Welder	[REDACTED]	15+ years	15+ years
Welder	[REDACTED]	10+ Year	10+ years
Carpenter	[REDACTED]	Carpentry	20+ years experience

## 6.3 Methodology

---

**Introduction** SWDC want to work with a provider who has a fit for purpose methodology to deliver the services in the In-Scope Section.

---

**Note** We would like to discuss Question 6.3.1 with you at the meeting. **We do not require written responses.**

---

<b>Question 6.3.1</b>	<b>Deliver the Services:</b> SWDC wish to discuss your methodology for delivering the services: <ul style="list-style-type: none"> <li>▪ planning</li> <li>▪ delivering</li> <li>▪ quality</li> </ul>
---------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

---

**Note** We would like to have the shop drawings that you are recommending in writing. Please attach the shop drawings.

---

<b>Question 6.3.2</b>	<b>Drawings:</b> Please confirm shop drawings are attached	
<b>Answer</b>	Confirmed	No

---



## 6.4 Value for Money

---

**Introduction** SWDC are responsible to rate payers in their region and as such need to ensure value for money.

Pricing will be addressed in Section 7 of this RFP.

SWDC would like to understand any other added value you could bring to the contract.

---

**Note** We would like to discuss Question 6.4 with you at the meeting. **We do not require written responses.**

---

<p><b>Question 6.4.1</b></p>	<p>We would like to discuss what added value you would bring to SWDC including:</p> <ul style="list-style-type: none"> <li>▫ sustainability</li> <li>▫ community</li> <li>▫ environmental</li> <li>▫ innovation</li> </ul>
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## 7. Pricing

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**Introduction** SWDC are responsible to rate payers in their region and as such need to ensure value for money.

Pricing shall be submitted into the attached pricing spreadsheet.

All prices should be in New Zealand Dollars and exclusive of GST.

---

**Mandatory** **This RFP is a two envelope response with the pricing only included in the spreadsheet.** As such we wish to stress that entering your pricing into the spreadsheet only is mandatory. The reasons for this are:

- it enables us to compare like for like
- it makes our analysis quicker and more accurate (as we are not re-entering your pricing).

Details in regard to filling out the relevant sections of the spreadsheet are addressed in the specific questions below.

---

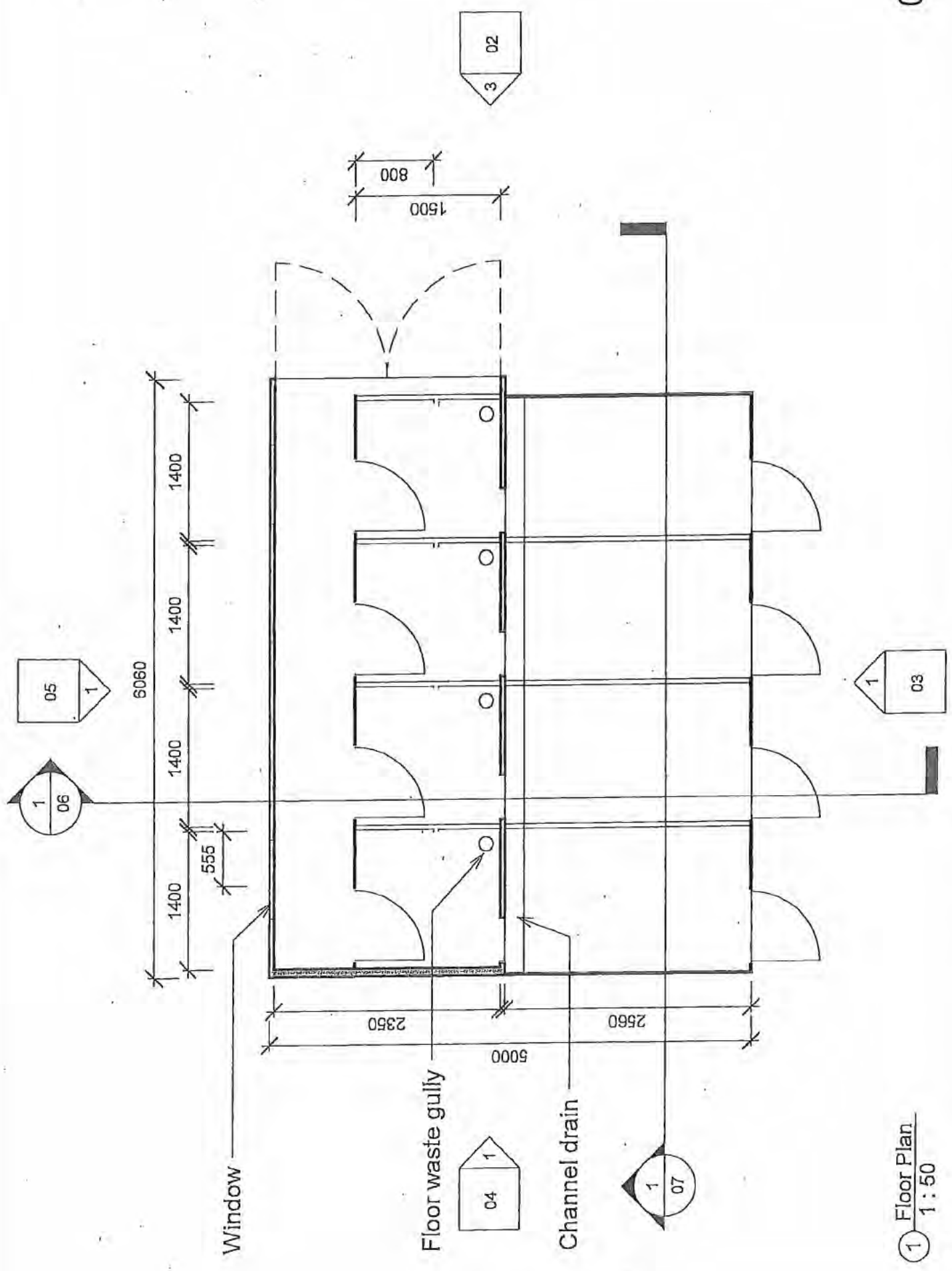
**Saving the spreadsheet** Please follow these instructions (it is an area that we often have issues with suppliers getting it wrong):

- Enter your pricing in the fields in the spreadsheet
  - Save the spreadsheet as [Your Organisation Name] – SWDC – Pound Construction - RFP Response – [date].xlsx
  - For example Spot the Dog – SWDC – Pound Construction - RFP Response – 10 June 2022.xlsx
  - Please save **xlsx** format (not PDF, nor embedded in the response document)
  - Submit the spreadsheet with your written response
- 

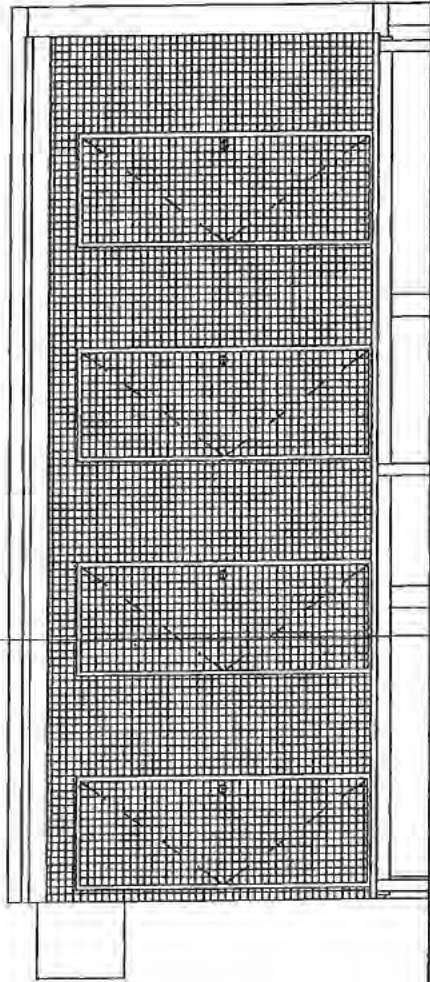
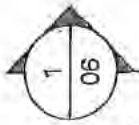
<b>Question 7.1</b>	Please confirm that the spreadsheet has been saved as set out above and attached.	
<b>Answer</b>	Confirmed	Yes

---



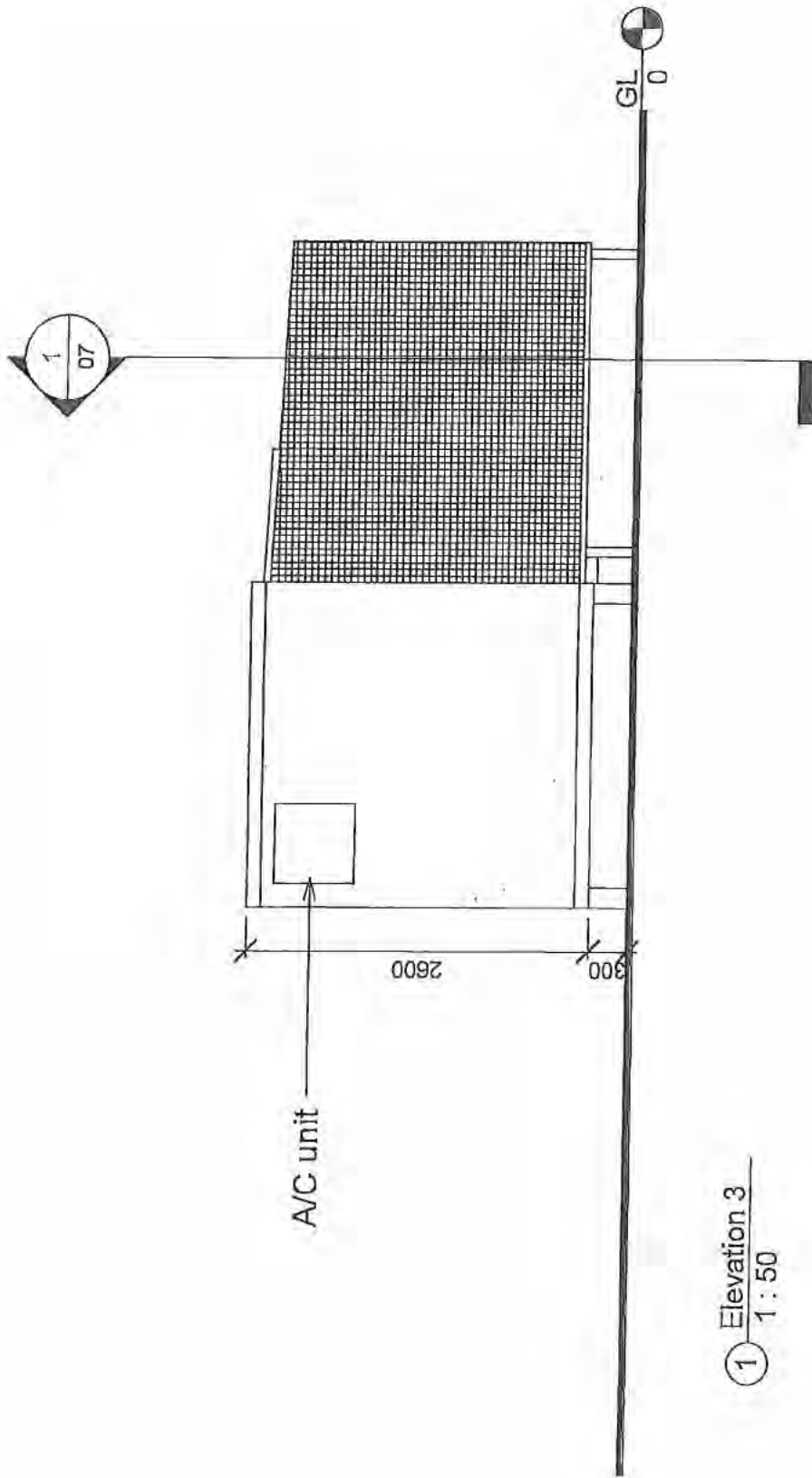


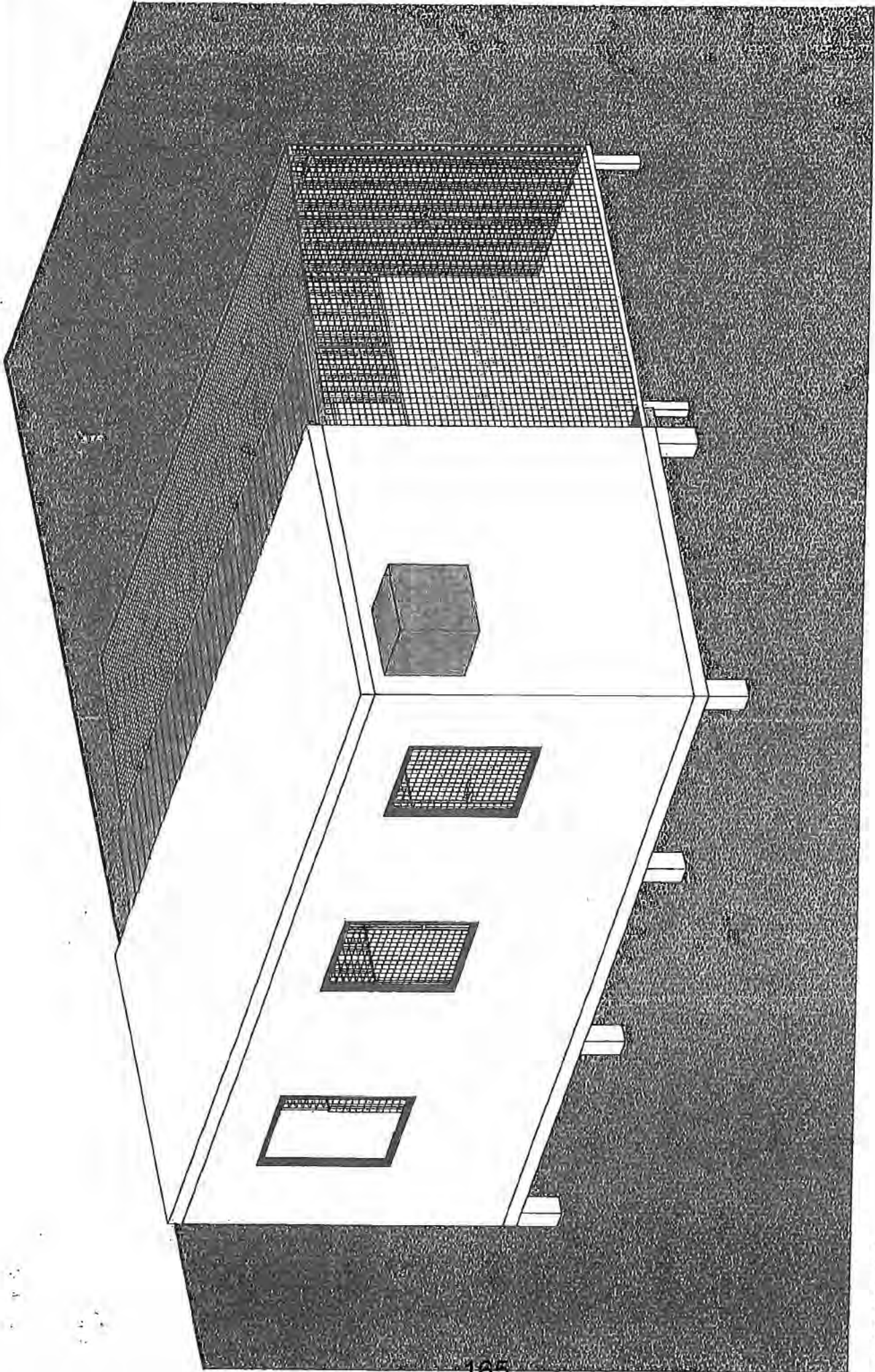
① Floor Plan  
1:50



① Elevation 2  
1 : 50

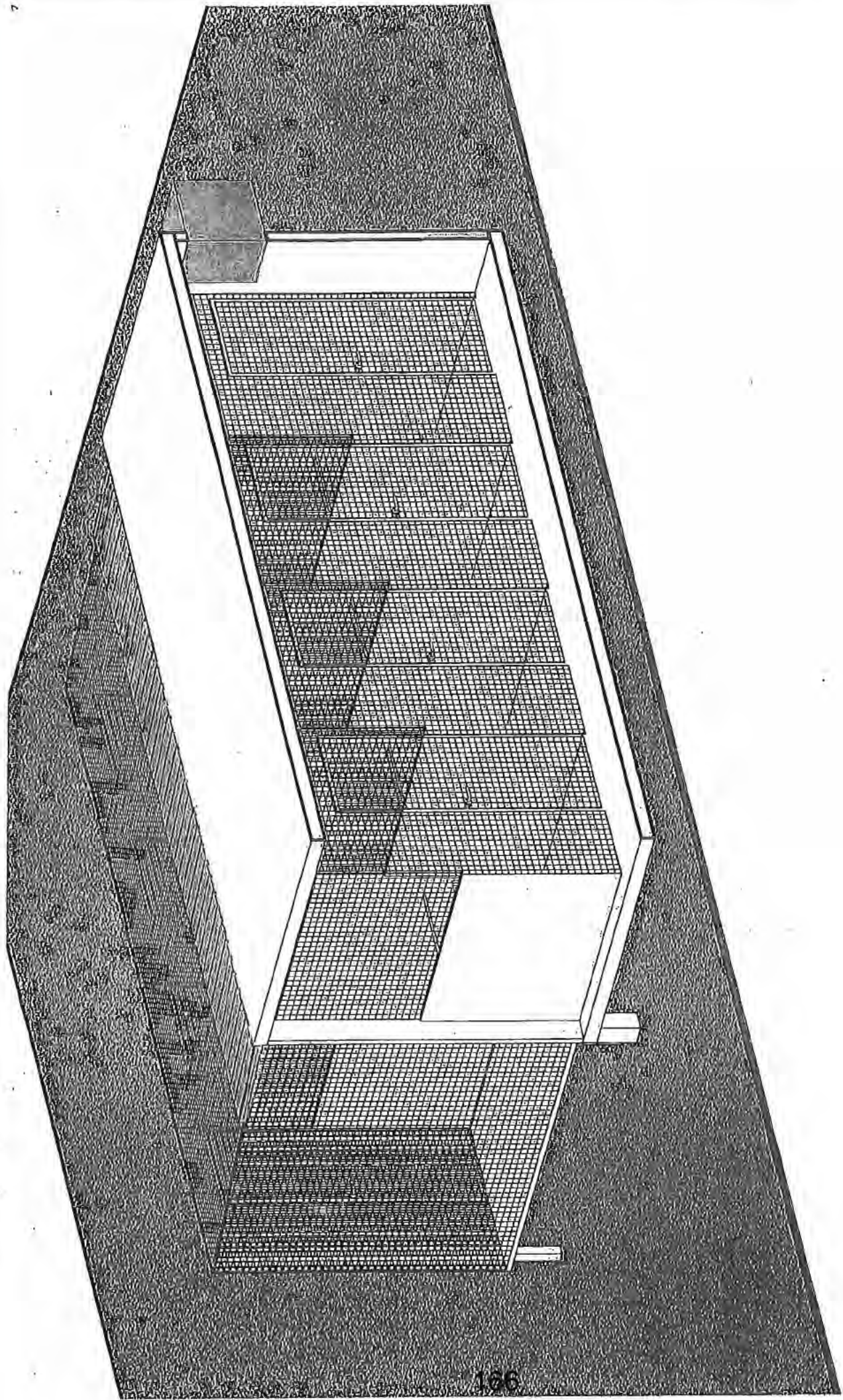






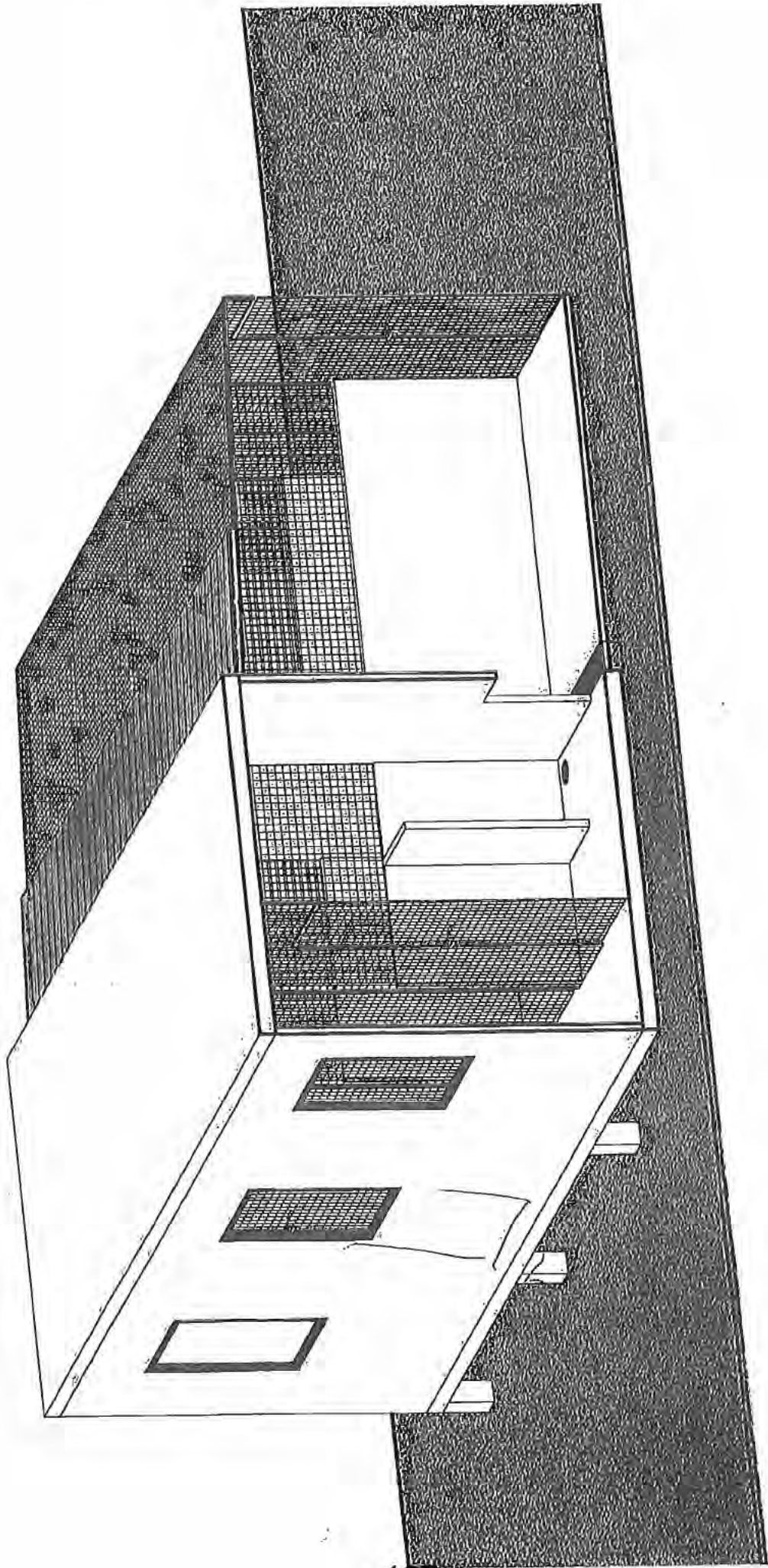
① 3D View 2





① 3D View 3





① 3D View 4



**The following executive summary is designed to acquaint the reader with the tender submission and is as follows;**

1Geo Ltd are an Upper South & North Island based civil construction company solely focused on the land based geotechnical remediation, foremostly construction of complex retaining walls and E/Q Strengthening.

1Geo Ltd will provide methodologies & timelines if accepted with our ROI to a high level of accuracy. If successful in passing ROI criteria, 1Geo Ltd will review contract conditions as at the date of acceptance & submit draft methodologies and timelines as a final tender submission. If accepted, the Council will benefit from 1Geo Ltd being the contractor as follows;

Our comprehensive safety culture, procedures and quality assurance programmes overarched by the company's previous qualification in the AS/NZS 4801:2001 create a robust and accountable contracting platform. This platform is focused on a quality product being undertaken in a safe, timely, budget driven manner. Our companies drive is the to create a minimum impact to the public simultaneously providing maximum efficiency within the contract allowing a seamless construction experience.

The contract will have a site-specific safety plan. This document includes all health and safety forms required to complete tasks in a safe manner as per the 1Geo health & safety policy. Daily toolbox talks will be completed by 1Geo staff & client representatives are required to be inducted into site. Review with project engineer and/or Client will be required before any works commence & fortnightly meetings are to be undertaken. If required daily contact with the program director & mandatory keeping the client & public up to date with the programme of works.

Our SSSP is a live document. Each specific task is recorded in our hazard register with a risk assessment, hazard identification, task analysis and site controls to eliminate or minimise hazards. On-site will also be an anonymous reporting system for any staff who wish to raise feedback in confidence. Daily sheets record actual methodology for each task at hand. What tools are in use and what controls are needed. Exclusion zones for machinery are an hour by hour process, these will include RED ZONES, ORANGE ZONES & GREEN ZONES. Hot works & dig permits are a daily requirement as are excavator check lists. 1Geo have eleven years construction experience in a highly controlled field in the formidable earthquake zones of the North and upper South Islands. 1Geo & its sister companies have over 27 years of experience in this field & are versed in all aspects of contracting, civil and commercial construction. Further to this we have achieved a very high degree of quality systems within the organisation to allow the company to grow conforming to our mission statement.

Furthermore, our in house fabrication team are well equipped for this project. 1Geo have been completing bespoke fabrication projects for E/Q Strengthening, vehicle modifications and repairs, retaining wall strengthening accessories, steel container modifications, handrails and balustrades and many more customised projects.


**Benefits as below:**

- 1. Safety:** We are led from the director and health and safety manager down. All staff are trained, are conscious of safety and making all elements of construction safe for the visitors to site, for the construction staff and for neighbours and pedestrians around the site.
- 2. Environmental Controls:** The companies AS/NZS 4801:2001 qualification is focused on creating environmental controls that are designed to protect staff, public and for mostly the immediate physical environmental areas under construction.
- 3. Traffic and Public management.** Our inhouse staff are trained STMS, TC and inhouse trained public co Ordinator's. We take the public seriously and aim to give the client nothing but positive feedback.



4. **Experience and knowledge.** All our staff are experienced with retaining structures, all staff are PAYE (Employed by 1Geo). We employ our own general and small consultancy engineering departments that controls and expect a high-quality environment within the group for all works we complete. We have delivered a wide range of structural solutions are known for our “out of the Box” thinking to get the job done.
5. **Value Added Construction** 1 Geo Ltd will get the project completed on-time, to budget and to a high of quality. We have strong minded staff that endeavour to better themselves and strive for the most perfect quality possible no matter what the project. Our highly trained Quantity surveyors are versed in identifying issues before they arise.
6. **Reliable and Integral** We are a group of trained professionals who care for our client and care for the work we complete. The 1Geo brand name to the group, our customers and onlookers stands for excellence. We are known to work through all weather conditions if required to get the work done when faced with any challenge that both nature and the public give us, we work through them to create the desired result.
7. **Collaboration:** The 1Geo team believe strongly in collaboration within the team, clients, client’s representative, our suppliers and neighbours to the site. We believe in partnering the client, the public & our staff.

## Financial Viability and Organisational Fit

Item	Detail
Trading / Legal name:	1 Geo Ltd
Postal address:	P.O. Box, 17680, Sumner, CHCH
Registered office:	119 Blenheim Road, Riccarton, Christchurch
Business website:	1geo.co.nz
Type of entity (legal status):	Limited Liability Company
Registration number:	7677499
Country of residence:	NZ
GST registration number:	
Number of Employees	42
Financial statement	As client request (agreed)
Ownership	Trust Company / Director
History	From small beginnings in retaining walls, hillside excavation and rock breaking, 1Geotechnical has significantly expanded its expertise to include deconstruction, demolition, site development, civil infrastructure and roading projects nationwide
Core Areas of Business (Based on Previous year)	Retaining walls: 40% Drilling and Anchoring Solutions: 20% Earthquake Strengthening and fit outs: 35% Earthworks: 5%





# SOUTH WAIRARAPA DISTRICT COUNCIL

*Kia Reretahi Tātau*

South Wairarapa District Council

Pound Construction

Registration of Interest (ROI) V1

Prepared by:

— The *Integral* Group Limited —

29 April 2022

The *Integral* Group Ltd



Commercial in Confidence

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# 1. Introduction

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## Introduction

South Wairarapa District Council (SWDC) are going to market to:

- Construct a purpose-built pound building based on a shipping container structure

SWDC have engaged The *Integral* Group Limited (TIGL) to assist with this process. TIGL's role is to facilitate the procurement process, assisted by subject matter expertise provided by the council.

The process is a two staged open market process:

- Registration of Interest (ROI)
- Request for Proposal (RFP)

This ROI is the first formal step in the process and is intended to be of minimal effort for respondents and allow SWDC to create a short list of suppliers to invite to enter the RFP process.

The RFP part of the process will include:

- a written response in regard to:
  - the declarations
  - the resources question (team, skills, knowledge)
  - pricing
- a Teams call or meeting with the evaluation team (1 - 1.5 hours long) to discuss the remaining questions (proven track record, methodology etc)
- respondents will be evaluated, and preferred respondents selected

---

## Contract Term

The contract shall be for the duration required to complete the construction.

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*Continued on next page*

## 1. Introduction, Continued

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### Project objectives

The objectives for a project of this type are:

- have fun – make this a positive experience for all parties involved and create opportunities out of any challenges
  - enhance the council’s reputation as a procurer and manager of goods and services with:
    - the city and district
    - councillors
    - customers, businesses and rate payers
    - tourists and visitors
    - contractors and suppliers
    - staff
    - Audit NZ
    - relevant Government Agencies - MPI
    - other councils
    - iwi
  - get the optimal solution for the council in terms of:
    - value for money
    - fit for purpose and quality construction that meets the specifications
    - timeliness
    - meeting statutory and regulatory requirements
  - set-up arrangements that advantage the council in the medium to long term by:
    - having flexible arrangements that allow beneficial actions in the future
    - ensuring efficient models with suppliers
  - be consistent with the council’s long-term strategies
  - learn and capture lessons from the process
- 

### Underlying Objectives

The underlying objectives for this type of process are:

- know what you want and need
  - attract the best suppliers and choose the right ones
  - run a fair and transparent process and run it well
  - the outcome is easy to administer
  - the business model is flexible to allow for changes in requirements (due to legislative changes etc)
  - the business model keeps pricing fair and competitive for all parties throughout the contract. Pay for what you get and get what you pay for
  - the business model encourages improvement and efficiency
- 

*Continued on next page*



## 1. Introduction, Continued

### Purpose of ROI

As noted above, the purpose of this ROI is to select a shortlist of genuine potential suppliers to work through the Request for Proposal (RFP) process. In general terms the process will be as set out below.

The ROI is intended to be simple and easy to respond to and reduce the overall workload and cost for all parties involved. We will also make the RFP as simple as possible and easy to respond to.

There are a couple of key dates to keep in mind at this stage. The pre-RFP phone calls to be held on the **18 May 2022** (explained below) and the RFP evaluation discussion on the **13 June 2022** – the evaluation discussion is for those shortlisted from the ROI only.

Stage	Status
ROI	Current
Select a shortlist of suppliers to request to participate in the RFP process	Next
Draft the RFP documents	
Release the draft documents to the shortlist	
<p>Conduct a series of short (30 minutes) pre-RFP calls with the shortlist:</p> <ul style="list-style-type: none"> <li>▪ to clarify any questions in regard to the RFP documents</li> <li>▪ to identify any parts of the RFP documents that need updating to better reflect what is required</li> <li>▪ to identify any gaps in the RFP documents</li> </ul> <p>The overall objective of these meetings is to provide suppliers with the best RFP documents we can.</p>	<p><b>3:00 pm</b>  <b>Wednesday,</b>  <b>18 May 2022</b></p>
Update and release the formal RFP	
Respondents respond to the RFP	
<p>RFP Evaluation:</p> <ul style="list-style-type: none"> <li>▪ review the written RFP responses</li> <li>▪ conduct a 1 – 1.5 hour Teams call/workshop with each of the shortlisted respondents to cover the verbal answers</li> <li>▪ evaluate the RFP responses to establish the preferred respondent to progress through to the contract set up phase</li> </ul>	<p><b>Monday,</b>  <b>13 June 2022</b></p>
<p>Contract set up. SWDC will enter into contract establishment with the preferred respondent.</p> <p>In the event that the parties cannot agree the terms of the contract or SWDC does not approve the contract, SWDC reserves the right to enter into discussions with a third party or abandon the process.</p>	

*Continued on next page*

## 1. Introduction, Continued

Evaluation Team	Person	Skills
	[REDACTED]	▪ key stakeholder
	[REDACTED]	▪ key stakeholder
	[REDACTED]	▪ evaluation team leader ▪ procurement specialist ▪ facilitator



## 2. Description of Services in Scope

---

### Services

The services required by this contract include:

- contract set up:
    - agree any health and safety plan required with SWDC
    - agree a relationship management plan with SWDC including meetings and reporting requirements through the project
    - agree key performance indicators (KPI)
    - agree final design, pricing model and responsibilities
    - agree the contract for construction
  - delivery of the services set out in the in-scope area
- 

### Services in Scope

The services covered but not limited to include:

- build the pound as per the specifications
  - deliver to site
-

### 3. Submission & Evaluation Process

#### Contact person

General enquiries regarding the ROI / RFP process should be directed only to the Contact Person through the TenderLink portal. Contact person details are set out below for urgent situations.

Proposal submissions should also be through the TenderLink portal.

Direct approaches to SWDC or their staff without the consent of the contact person may result in you being disqualified from the review. Existing working relationships will obviously need to continue through the review and are acceptable.

#### Details

<b>Name</b>	[REDACTED]
<b>Role</b>	[REDACTED]
<b>Mobile</b>	[REDACTED]
<b>Email</b>	[REDACTED]@swdc.govt.nz

Deadlines	Area	Deadline
<b>Questions</b>	Questions should only be submitted via the TenderLink portal and can be submitted up to the deadline. Responses will be made via the TenderLink portal.	<b>5:00 pm Monday 9 May 2022</b>
<b>Submission</b>	Submissions should only be submitted via the TenderLink portal. Any sent directly to the Council may be disqualified.	<b>4:00 pm Friday 13 May 2022</b>
<b>Submission format</b>	<p>Please submit the following via TenderLink:</p> <ul style="list-style-type: none"> <li>▫ soft copy of your response (word or PDF)</li> </ul> <p><b>Please include your company name in the filenames</b></p> <p>Your response must include:</p> <ul style="list-style-type: none"> <li>▫ contact details as set out in Section 6</li> <li>▫ mandatory requirements in Section 7.1</li> <li>▫ non- mandatory requirements in Section 7.2</li> </ul>	

#### Late proposals

Requests for extensions to the closing date are likely to be declined unless extenuating circumstances exist. Late proposals are unlikely to be considered, but may be if circumstances require.

#### Clarification

The evaluation panel may seek clarification regarding your ROI, or request you to provide additional information during the evaluation process.

*Continued on next page*



### 3. Submission & Evaluation Process, Continued

---

**For  
information  
only -  
Evaluation  
criteria**

The evaluation criteria in this process are a few mandatory requirements and a number of non-mandatory requirements.

The ROI will only ask questions in regard to the mandatory requirements and one non-mandatory.

All the evaluation criteria are set out in the table below. We have provided the full list in the ROI to give potential respondents a clear idea as to what SWDC will be assessing RFP responses on at that stage of the overall process.

This is so that suppliers can pre-select themselves (i.e. not waste their own time responding to this ROI or the RFP if they can see they would have little chance of success). As we appreciate the significant costs of responding to ROI/RFPs.

As noted above, for this ROI/RFP process in the RFP the only written responses will be for:

- the resources question
- pricing

The rest will be through a Teams call.

---

*Continued on next page*

### 3. Submission & Evaluation Process, Continued

**ROI criteria**      The following table outlines the criteria for the ROI evaluation process.

The mandatory criteria are pass/fail criteria and a fail means the supplier will not make the shortlist.

The non-mandatory question will be scored and ranked by the evaluation team and then used to form the shortlist.

We will take a shortlist of suppliers through to the RFP process. This is to make it as attractive as possible for responding suppliers and to reduce unnecessary workload for all parties.

**Mandatory**  
**Non-**  
**Mandatory**

Group	Comments	Ranking
Insurance	▪ required insurance policies	Mandatory
Proven track record	▪ proven track record in building facilities from containers ▪ pounds or MPI Animal Welfare requirements	Scored

*Continued on next page*



### 3. Submission & Evaluation Process, Continued

**RFP criteria** The following criteria will be used for the RFP evaluation. The non-mandatory criteria (proven track record) is repeated as it will ask for more detail in the RFP than requested in the ROI.

#### Non - Mandatory

Group	Comments	Weighting
Proven track record	<ul style="list-style-type: none"> <li>▫ building facilities from containers</li> <li>▫ pounds or MPI Animal Welfare requirements</li> </ul>	35%
Resources	<ul style="list-style-type: none"> <li>▫ account manager</li> <li>▫ team               <ul style="list-style-type: none"> <li>▪ proven track record</li> <li>▪ skills and qualifications</li> </ul> </li> </ul>	30%
Methodology	<ul style="list-style-type: none"> <li>▫ methodology to deliver the services:               <ul style="list-style-type: none"> <li>▪ plan</li> <li>▪ deliver</li> <li>▪ manage quality</li> </ul> </li> </ul>	25%
Value	<ul style="list-style-type: none"> <li>▫ costs</li> <li>▫ value add               <ul style="list-style-type: none"> <li>▪ sustainability</li> <li>▪ community</li> <li>▪ environmental</li> <li>▪ innovation</li> </ul> </li> </ul>	10%

## 4. Terms and Conditions

---

### Acceptance of proposals

- This ROI should not be construed as an agreement to purchase goods or services.
  - SWDC or TIGL are not bound to accept any registrations of interest of those submitted.
  - SWDC or TIGL will be under no obligation to receive further information, whether written or oral, from any respondent.
  - SWDC or TIGL reserve the right to stop this process at any point.
- 

### Confidentiality

At this stage of the process none of the SWDC information relating to this process that has been provided is confidential.

---

### Expenses

You are solely responsible for any expenses incurred in preparing a proposal and for subsequent negotiations, if any. If SWDC elects to reject all ROIs, SWDC or TIGL will not be liable to any claims, whether for:

- costs or damages incurred by you in preparing the ROI
  - loss of anticipated profit in connection with any final contract, or
  - any other matter whatsoever.
- 

### Agreement with terms

By submitting a proposal you agree to all the terms and conditions of this ROI. The ROI received electronically must not be altered in any portion of the document, with the exception of adding the information requested. To do so will invalidate the proposal.

---

### Liability of errors

While SWDC and TIGL have endeavoured to provide an accurate representation of information in this ROI, the information contained in this ROI is supplied solely as a guideline. The information is not guaranteed or warranted to be accurate by SWDC or TIGL, nor is it necessarily comprehensive or exhaustive. Nothing in this ROI is intended to relieve you from forming your own opinions and conclusions with respect to the matters addressed in this ROI.

---



## 5. Response Guidelines

---

**Introduction** This section sets out the specific questions that SWDC require to be answered.

We would encourage you to use this part of the ROI document as a template for your answers (that is, copy and paste the remainder of the document into your response). What works well is leaving the questions in and supplying your answers in the tables provided.

Don't worry about trying to use the formatting that we have used, as we realise that sometimes causes problems with some suppliers.

**Please answer the questions in this ROI and nothing else** (we sometimes get a lot of information that has not been requested at this stage).

---

## 6. Supplier Details

<b>6.1 Organisation details</b>	Please provide details in regard to your organisation into the following table.	
	<b>Organisation name</b>	1Geo Limited
	<b>Legal status</b>	Limited Liability Company

<b>6.2 Contact details</b>	Please provide details in regard to the contact person into the following table.	
	<b>Name</b>	[REDACTED]
	<b>Position within the organisation</b>	Quantity Surveyor / Contracts
	<b>Phone number</b>	[REDACTED]
	<b>Mobile phone number</b>	[REDACTED]
	<b>Email address</b>	[REDACTED]@1geotechnical.co.nz
	<b>Physical Address</b>	10c Garlands Road
	<b>Postal Address</b>	PO Box 17680, Sumner, CHCH

<b>6.3 Profile</b>	Please provide a one page profile summary of your company.
	Please refer our executive summary.



## 7.1 Mandatory Requirements

**Introduction** There are mandatory requirements, these are set out below.

<b>Question</b> 7.1.1	<b>Insurance:</b> The supplier will have the following insurance: • Public Liability for a minimum of \$2,000,000  Please confirm that you have this insurance cover and attach evidence.	
<b>Answer</b>	Confirmed	Yes
<b>Attached</b>	Please attach proof of these policies to your response	Attached
<b>Note</b>	If you don't have these insurances at this point you would need to commit to have them in place by the start of the contract.	
	Commit to have in place by the start of the contract	Yes

## 7.2 Non-Mandatory Requirements

**Introduction** SWDC are keen to work with providers that have a proven track record in delivering a similar purpose-built facility and delivering to site.

<p><b>Question</b> 7.2.1</p>	<p>Keeping in mind the services in scope, please provide examples where you have relevant experience with:</p> <ul style="list-style-type: none"> <li>▪ building facilities from containers</li> <li>▪ pounds or MPI Animal Welfare requirements</li> </ul> <p>Add more rows if required</p>		
<p><b>Examples</b></p>	<p><b>Client</b></p>	<p><b>Services provided</b></p>	<p><b>Brief Description</b></p>
	<p>[REDACTED]</p>	<p>E/Q strengthening and refurbishment upgrade</p>	<p>Refurbishment of bowling alley complete with laser quest range.</p>
	<p>[REDACTED]</p>	<p>Upgrade of existing 20ft container to allow easy unloading / pickup of 1.5 tn drill rig.</p>	<p>Side opening doors installed to allow pickup off freightliner in 10minuets to meet NZTA unloading timeframes on a live arterial road</p>
	<p>[REDACTED]</p>	<p>40ft Container modified into storage unit and office space</p>	



### Management and Personnel

Allocated to Contract: South Wairarapa Dog Pound - Containers

<b>Project Role: Contract Manager Contract Representative</b> [REDACTED] Contract Manager / Representative [REDACTED] [REDACTED] @lgeotechnical.co.nz Location: National projects	<b>Project Role: Quantity Surveyor, Customer Services &amp; Communication Manager</b> [REDACTED] Quantity Surveyor / Contracts [REDACTED] [REDACTED] @lgeotechnical.co.nz Location: National projects
<b>Project Role: Traffic Control</b> Traffic manager Contact to be through [REDACTED]	<b>Project Role: Project Manager</b> [REDACTED] [REDACTED] [REDACTED] @lconstructor.co.nz Location: North Island Projects

### Project Role: Skilled Labourers and unskilled Labourers

*1 Geo hold the right to allocate different personnel. 1 Geo will only allocate experienced personnel in the interest of safety and workmanship.*

- [REDACTED] [REDACTED] [REDACTED] [REDACTED] (Welding & fabrication team)
- [REDACTED], [REDACTED] (Skilled Labour) Technical Team
- [REDACTED] (Trucking and Cartage)
- Read Only (Traffic Controller)

### Available Plant allocated and available

- 26tn Freightliner.
- All required welding and fabrication capabilities.
- 1200m2 fabrication workshop.

### Our suppliers include:

1. Anzor fixings and fastenings
2. Fletcher reinforcement (easy steel or Steel and tube) and Reofab for reinforcement and steel.
3. Titan Crane and Hammond Hiabs for lifting and access.
4. Hume's and Hynds for drainage supplies
5. Assmuss, Steel and tube, Avon Engineering for or technical requires
6. Mitchpine and Goldpine for all timber supplies
7. Nebular windows and doors for all requires aluminium joinery.
8. Expol for allinsulation requirements
9. Carters Building supplies for all building supplies.

1Geo have many other suppliers that are customer focused and assist with their hard work to obtain the results to our client's requirements.

### Current Operations.

#### Christchurch

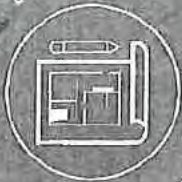
1. [REDACTED] - \$ [REDACTED] retaining wall project (Due to Commence in May 2022)

#### National (North Island and South Island)

2. [REDACTED] EQ Strengthening / Fit out \$ [REDACTED] (90% complete)
3. [REDACTED] EQ Strengthening (\$1.5m)
4. [REDACTED]







**Therian Pty Ltd**

Unit 4, 26 Commercial Drive,  
Ashmore QLD 4214

ABN: 82 107 418 262

Phone: 1800 251 766

Fax: (07) 5657 6788

Email: [info@therian.com.au](mailto:info@therian.com.au)

Web: [www.therian.com.au](http://www.therian.com.au)

**SOUTH WAIRARAPA DISTRICT COUNCIL**

**POUND CONSTRUCTION**

**REGISTRATION OF INTEREST**





**SOUTH WAIRARAPA  
DISTRICT COUNCIL**

*Kia Reretahi Tātau*



# LETTER TO CLIENT

Attention:

  
  
The Integral Group Ltd

## Expression of Interest to provide Specialist Architectural Design Services and Animal Housing Options for South Wairarapa District Council

Therian is pleased to offer our Specialist Architectural Design Services and Animal Housing Options for South Wairarapa District Council.

At Therian, we have drawn on our extensive experience, a combined 50 years of working within the animal care and construction industries across Australia, to produce a range of products and services that offer a comprehensive solution to animal care professionals.

Therian has experience with both designing and fitting out temporary structures and shipping containers having completed this for Lost Dogs Home animal shelter in Victoria, Sydney Dogs & Cats Home animal shelter in Sydney, RSPCA VIC, SA and WA and numerous councils around Australia


Therian staff understands the specific issues that face Animal Pound facilities such as the proposed including:

- \* Reducing stress on animals by considering their physical, psychological, and physiological needs.
- \* Having purpose-built facilities with an emphasis on facility design and construction materials to ensure ease of care, safe animal handling practices, and facility longevity.
- \* The safety of humans, including staff, and clients.
- \* Eliminating cross contamination within the facility.
- \* Management of noise and odour.

Just to name a few.

This document contains an introduction to Therian, outlining our personnel and experience. We are pleased to submit the following information for consideration and can commence work on this project immediately should any of our services or products be required. We look forward to working with you.

With regards,



Gavin Biggs

Chief Executive Officer

## WELCOME TO THERIAN

*Along with our clients, Therian specialises in the Animal Care Industry. Therian is a company founded through a love of animals and a belief that companies within this industry needed a firm that understood them and the language they spoke.*



GUIDE DOGS BREEDING CENTRE - QLD

Founded over 15 years ago, Therian has gone from strength to strength - offering animal housing solutions to a full design solution with internal fit out. By listening to the market we found a need for a firm that both understood animal movement and the processes involved with business development. We sourced products from around the globe to improve your working day, whilst building upon our designs.

***What we appreciate most about working with Gavin and his team is their wealth of experience and professionalism at all times to ensure that together as a team we deliver***

The team at Therian believe in fulfilling the briefs of our clients, whether it is business redesign that changes how the client is able to move forward, or the supply of equipment that enables the business owner to progress with plans and business models.

---

### BEHIND THE NAME THERIAN

*The meaning behind the name Therian comes from an ancient Greek saying Philotherianism, which translates to "For the love of animals". All of the staff at Therian are passionate about the environments we design for animals and our products which protect them.*

---

At Therian, we believe in staying and the forefront of design and innovation through constant education. We travel abroad to stay abreast of the latest knowledge available regarding animal housing design and welfare. Constant education provides the groundwork for our designs.

Therian is the leader in the field due to our unique understanding of human and animal flows producing maximum efficiencies. We understand business and budgetary constraints and respect our clients and their needs.

Therian is a company founded through a love of animals and the belief that everything can be improved upon - whether it's the improvement of workplace efficiency, or an increase in rehoming rates of shelter animals.

Every decision we make has a consequence and our aim is to make it a positive one for you, your staff and the animals in your care.



# EQUIPMENT



We work closely with our clients to understand their needs and the complexities of their particular business and facility. Our success is the success of our clients and the long term relationships that prevail past the projects completion date.

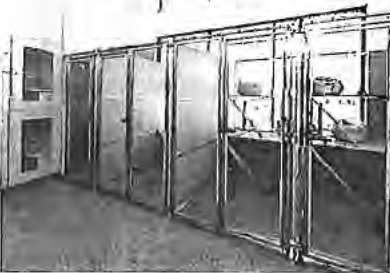
*When I set up my new practice, I did extensive research into all the equipment and suppliers available and settled on Therian. They found solutions to my problems and created a package that was extremely competitive.*



## VETERINARY EQUIPMENT

When purchasing equipment, consider how you work at each station, how you move around and where you need light to focus.

- Surgical Tables and lights
- Mobile Exam Tables and Gurneys
- Height Adjustable and Fixed Exam and Treatment Tables
- Veterinary Mats
- Treatment Tables
- Wet Procedure Tables
- Stainless Steel Cages
- Cabinets, Tubs and Workstations
- Scales



## CAT HOUSING

Design a layout that incorporates natural light, air flow and ease of temperature control to best ensure the specific social, physical and psychological needs of felines in your care.

- Therian Cat Condos
- Modular Cat Condos/Runs/Towers
- Fiberglass Cages
- Fiberglass Cat Condos/Suites



## DOG HOUSING

When designing or making your purchasing decision for dog housing consider the appeal to your clients. Keep ease of cleaning and durability in mind as well as the comfort and security of your staff and the animals in your care.

- Mason Sani-Kennels
- Mason Ultrabase
- Raised Floor Kennels
- Double Stacked Kennel System
- Chainlink Sani-Kennels
- Stainless Steel Kennels
- Luxury Suites



## KURANDA BEDS

Favourite of kennels, shelters and pounds. Experience the Kuranda difference. Extremely durable and easy to assemble, our Standard and Aluminium beds are easy to assemble with a 12 month chewproof guarantee covering the structural integrity of fabric and frame.

- Dog and Cat Beds
- Cat Towers
- PVC or Aluminium Frames
- Choice of fabrics
- Range of bed covers

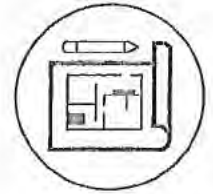


## CLEANING AND WASTE MANAGEMENT

Hygiene is a number one priority in animal care facilities. When choosing your cleaning equipment, you need to understand the local council guidelines for waste disposal, and the primary modes to disease transmission.

- Kaivac Cleaning system
- Whoopsie Away





# ARCHITECTURE

---



TURRAMURRA VETERINARY CLINIC - NSW



SOMERSBY ANIMAL HOSPITAL - NSW



YARRABILBA VETERINARY HOSPITAL - QLD



ABBA BOARDING KENNELS - VIC

Our team of specialists in our Architectural division, lead by Gavin Biggs and Bryan King, have over 30 years of experience and more than 500 projects around Australia, New Zealand and South-East Asia. Since 2005, Therian has worked exclusively in animal care facility design both throughout Australia and overseas.

Therian's architects specialise in the design of bespoke solutions for clients, to reflect the specific services and culture that differentiate their practices. Operating on a platform of Innovation through Design, Safety and Functionality, we have acquired a reputation for excellence, honesty and problem solving. Producing practical designs that support efficient workflow while ensuring the best Return On Investment for you.

Thinking outside the box is what our clients expect when they come to us - resulting in the best possible outcomes for your staff, your clients, and the animals in your care.

## SERVICES

---

We advocate for our clients and manage a traditional DESIGN - TENDER - CONSTRUCT project delivery methodology to give you the best value. The construction tender process delivers a fair and competitive construction quote based on your requirements. Our services include:

- Needs Assessments/Feasibility Studies
- Concept Design
- Development Application & Planning Submissions
- Detailed Architectural Design Drawing & Project management for construction certificate
- Builder-Tender Management
- Construction Management

## PROJECT TYPES

---

- New sites
- Leasehold fitouts
- Expansions of existing buildings
- Refurbishments

## 7.2 PREVIOUS EXAMPLES OF EQUIPMENT FITOUTS

Project Name	Therian Role	Location	Client
[REDACTED]	Feasibility study, Concept Design, Planning Permit, Detailed Design, Construction Management & Fitout Equipment	Cairns QLD	[REDACTED]
[REDACTED]	Concept Design Development, Planning Application, Detail Design Drawings & Fitout Equipment	Ballina, NSW	[REDACTED]
[REDACTED]	Master Planning Report and Overall Concept Design Development plus Fitout of all Cat Housing	Campbelltown, NSW	[REDACTED]
[REDACTED]	Equipment Fitout - Dog Housing / Cat Housing / Veterinary Specialist Equipment	Christchurch NZ	[REDACTED]
[REDACTED]	Equipment Fitout - Dog Housing / Cat Housing / Veterinary Specialist Equipment	Singapore	[REDACTED]
[REDACTED]	Equipment Fitout - Dog Housing / Cat Housing	New Zealand	[REDACTED]
[REDACTED]	Subject Matter Experts for Dogs and Cats assisting Architect and Fitout of all Cat Housing	Stonnington, VIC	[REDACTED]
[REDACTED]	Concept Design Development & Fitout of all Cat Housing	South Perth, WA	[REDACTED]
[REDACTED]	Concept Design Development and Fitout of Dog Housing	Port Lincoln, SA	[REDACTED]
[REDACTED]	Supply of Specialised Cat Enclosures	Mornington, VIC	[REDACTED]
[REDACTED]	Detailed Design Development & Fitout Equipment	Tanawha, QLD	[REDACTED]
[REDACTED]	Subject Matter Experts for Dogs and Cats in development of new Master Plan and new Dog Boarding Facility & Fitout Equipment	Coldstream, VIC	[REDACTED]
[REDACTED]	Subject Matter Experts for Dogs and Cats, Master Planning workshops and Fitout Equipment	Wacol, QLD	[REDACTED]
[REDACTED]	Master Plan Development for existing site, Concept Design Development for new Cat Facility and fitout of Dog and Cat Housing	Pearcedale, VIC	[REDACTED]
[REDACTED]	Concept Design Development and Detail Design Drawings & Fitout all Dog and Cat Housing Equipment	Kemps Creek, NSW	[REDACTED]
[REDACTED]	Concept Design Development and Fitout of Housing in demountable buildings	Portland, VIC	[REDACTED]





2B Sure Insurance Brokers Pty Ltd  
 a Corporate Authorised Representative (No: 448857) of  
 McLardy McShane Partners Pty Ltd AFSL No: 232987  
 ABN 14 064 465 309  
 PO Box 1136  
 Beenleigh Qld 4207  
 P:1300 326 225  
 Email: @2bsure.com.au

Attention: Therian Pty Ltd

From: [REDACTED]

We hereby confirm that we have arranged the insurance cover mentioned below:

Therian Pty Ltd  
 Po Box 264  
 ASHMORE CITY QLD 4214

**CERTIFICATE OF CURRENCY**

Date: 23/07/2021  
 Our Reference: THERI PL  
 RENEWAL

**Class of Policy:** PUBLIC & PRODUCTS LIABILITY  
**Insurer:** Certain Underwriters At Lloyds Of London  
 1 Lime St City Of London UK EC3M7  
 ABN:  
**The Insured:** Therian Pty Ltd

**Policy No:** [REDACTED]  
**Invoice No:** [REDACTED]  
**Period of Cover:**  
 From 24/07/2021  
 to 24/07/2022 at 4:00 pm

**Details:**

See attached schedule for a description of the risk insured

**IMPORTANT INFORMATION**

The Proposal/Declaration:

- is to be received and accepted by the Insurer
- has been received and accepted by the Insurer

The total premium as at the above date is:

- to be paid by the Insured
- part paid by the Insured
- paid in full by the Insured
- paid by monthly direct debit

Premium Funding

- This policy is premium funded



## Schedule of Insurance

**Class of Policy:** PUBLIC & PRODUCTS LIABILITY  
**The Insured:** Therian Pty Ltd

**Policy No:** [REDACTED]  
**Invoice No:** [REDACTED]  
**Our Ref:** THERI PL

This policy has been placed through

About Underwriting Pty Ltd  
ABN 608848479  
Suite 302/546 Collins Street, Melbourne Vic 3000

About Underwriting Pty Ltd is an underwriting agency who has placed the policy with

Certain Underwriters At Lloyds Of London  
1 Lime St City Of London UK EC3M7

### About General & Products Liability

**Item 1. Period of Insurance:**  
(For a 12 month period):

**From:** 4.00 pm on 24/07/2021

**To:** 4.00 pm on 24/07/2022

Local Standard Time at the insured's head office.

**Item 2. Insured's Address:**

Unit 4, 26 Commercial Drive  
ASHMORE QLD 4214

**Item 3. Named Insured:** Therian Pty Ltd

**Item 4. Business:** Architects, Construction Management, Project Management, including imports as more fully described in the proposal form submitted to About Underwriting.

**Item 5. Limits of Liability:**

5.1 General Liability (Public Liability & Advertising Injury)

\$ [REDACTED] in respect of any one claim or series of claims arising out of any one **occurrence**.

5.2 Products Liability

\$ [REDACTED] in respect of any one claim or series of claims arising out of any one **occurrence** and in the aggregate during any one **period of insurance**.

**Item 6. Deductible(s):**

6.1 The **insured** will be responsible to pay the first **\$1,000** of each claim or series of claims, including costs and expenses, arising out of any one **occurrence**.

6.2 The **insured** will be responsible to pay the first **\$25,000** of each claim or series of claims including costs and expenses, arising out of any one occurrence for claims arising out of injury to contractors,

## 7.1 COMPANY INFORMATION

### Submitters details

Registered name:	Therian Pty Ltd
Trading name (if different):	
Australian Company Number (ACN):	107 418 262
Australian Business Number (ABN):	82 107 418 262
Address of registered office:	Unit 4, 26 Commercial Drive, ASHMORE QLD 4214
Postal address (if different):	P.O. Box 264, Ashmore City, ASHMORE QLD 4214
Name of contact person:	[REDACTED]
Position title:	[REDACTED]
Email:	[REDACTED]@therian.com.au
Telephone number:	+61 [REDACTED]
Mobile:	+61 [REDACTED]



#### Therian Pty Ltd

Unit 4, 26 Commercial Drive Ashmore QLD 4214


Australia Tel: 1800-251-766

Email: [info@therian.com.au](mailto:info@therian.com.au)

Web: [www.therian.com.au](http://www.therian.com.au)

The following registered users have made submissions to the tenders box for this tender. Their details, and details of the files they uploaded are shown below.

**WAIRAR-1017671 - Registration of Interest for SWDC Dog Pound Construction**

Company Details	Hard Copy	Files Submitted [date - time uploaded]
 Therian Pty Ltd Unit 4, 26 Commercial Drive ASHMORE QLD 4214 <b>AUSTRALIA</b> Contact : ██████████ Ph : ██████████ ABN number : 82107418262		eoi_therian_southwairarapadistrictcouncilv2.pdf [13/05/2022 - 3:33 PM]





**Boxman Mods Limited**  
PO Box 1373, NELSON 7040  
Phone: (03) 547 1322  
Email: mods@boxman.co.nz  
Web: www.boxman.co.nz  
GST Net

## Boxman Company Statement

Boxman containers was founded in Nelson over 30 years ago in 1990. What started from humble beginnings with only 30 self-storage containers and a handful of shipping container sales, has grown from strength to strength and now has four depots throughout New Zealand in Auckland, Wellington, Nelson and Christchurch. We can reach into most corners of NZ.

Boxman offers everything from Container Sales, Leasing/Hire, Self-storage, arranging of transport, through to customised Modifications both big and small, New Zealand wide.

With the founding director Mat Charles still directly involved with day-to-day running of the company, you know that his passion and experience in the container industry is second to none and has clearly stood the test of time. This knowledge and passion have passed down to all staff to ensure that everyone involved gets the best service and experience.

Our sales and customer services team provide you with the knowledge and confidence that we offer is going to be right and fit for purpose and give you peace of mind knowing that there is always someone on hand to answer any questions or provide any ongoing support you may need.

The engineering teams within our four depots have years of experience in the industry and are a wealth of knowledge for any repairs, certifications, or modifications that you need.

The volume of repeat business from clients large and small is a testament to Boxman's outstanding service outcomes.

Boxman continues to grow and push the boundaries of what is expected within the industry, with the exciting new world first automated container storage facility that opened in Christchurch in 2022.

This proves that Boxman will continue to offer the epitome of innovation, product and service in the domestic shipping container sector, both now and moving into the future.

### **What we offer:**

**Sales:** New and Used containers as well as Refrigerated, Dangerous Goods and Office containers

**Leasing/hire:** Supplying to local customers and groups through to businesses, large companies, and corporate entities

**Self-storage:** All four depots offer either customer owned or self-storage in our depots

**Site storage: (storage on your own site)** through New Zealand; Boxman containers of all sizes can be supplied and delivered anywhere in New Zealand

**Modifications:** Large or small we do it all. From a simple paint to match your house, through to a full turnkey plug and play office that's lined, insulated and powered, through to something more specialised, we can do it all.

Head Office  
Boxman Alpha Ltd  
22 Quarantine Road  
Stoke 7011, Nelson  
Free Phone 0800 862 892  
PO Box 1373, Stoke 7040  
Nelson, New Zealand



# SOUTH WAIRARAPA DISTRICT COUNCIL



*Kia Reretahi Tātau*

South Wairarapa District Council

Pound Construction

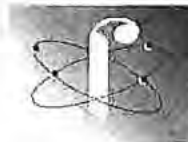
Registration of Interest (ROI) V1

Prepared by:

 - The *Integral* Group Limited - 

29 April 2022

The *Integral* Group Ltd



Commercial in Confidence



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# 1. Introduction

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## Introduction

South Wairarapa District Council (SWDC) are going to market to:

- Construct a purpose-built pound building based on a shipping container structure

SWDC have engaged The *Integral* Group Limited (TIGL) to assist with this process. TIGL's role is to facilitate the procurement process, assisted by subject matter expertise provided by the council.

The process is a two staged open market process:

- Registration of Interest (ROI)
- Request for Proposal (RFP)

This ROI is the first formal step in the process and is intended to be of minimal effort for respondents and allow SWDC to create a short list of suppliers to invite to enter the RFP process.

The RFP part of the process will include:

- a written response in regard to:
  - the declarations
  - the resources question (team, skills, knowledge)
  - pricing
- a Teams call or meeting with the evaluation team (1 - 1.5 hours long) to discuss the remaining questions (proven track record, methodology etc)
- respondents will be evaluated, and preferred respondents selected

---

## Contract Term

The contract shall be for the duration required to complete the construction.

---

*Continued on next page*



## 1. Introduction, Continued

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### **Project objectives**

The objectives for a project of this type are:

- have fun – make this a positive experience for all parties involved and create opportunities out of any challenges
  - enhance the council’s reputation as a procurer and manager of goods and services with:
    - the city and district
    - councillors
    - customers, businesses and rate payers
    - tourists and visitors
    - contractors and suppliers
    - staff
    - Audit NZ
    - relevant Government Agencies - MPI
    - other councils
    - iwi
  - get the optimal solution for the council in terms of:
    - value for money
    - fit for purpose and quality construction that meets the specifications
    - timeliness
    - meeting statutory and regulatory requirements
  - set-up arrangements that advantage the council in the medium to long term by:
    - having flexible arrangements that allow beneficial actions in the future
    - ensuring efficient models with suppliers
  - be consistent with the council’s long-term strategies
  - learn and capture lessons from the process
- 

### **Underlying Objectives**

The underlying objectives for this type of process are:

- know what you want and need
  - attract the best suppliers and choose the right ones
  - run a fair and transparent process and run it well
  - the outcome is easy to administer
  - the business model is flexible to allow for changes in requirements (due to legislative changes etc)
  - the business model keeps pricing fair and competitive for all parties throughout the contract. Pay for what you get and get what you pay for
  - the business model encourages improvement and efficiency
- 

*Continued on next page*

## 1. Introduction, Continued

### Purpose of ROI

As noted above, the purpose of this ROI is to select a shortlist of genuine potential suppliers to work through the Request for Proposal (RFP) process. In general terms the process will be as set out below.

The ROI is intended to be simple and easy to respond to and reduce the overall workload and cost for all parties involved. We will also make the RFP as simple as possible and easy to respond to.

There are a couple of key dates to keep in mind at this stage. The pre-RFP phone calls to be held on the **18 May 2022** (explained below) and the RFP evaluation discussion on the **13 June 2022** – the evaluation discussion is for those shortlisted from the ROI only.

Stage	Status
ROI	Current
Select a shortlist of suppliers to request to participate in the RFP process	Next
Draft the RFP documents	
Release the draft documents to the shortlist	
<p>Conduct a series of short (30 minutes) pre-RFP calls with the shortlist:</p> <ul style="list-style-type: none"> <li>▪ to clarify any questions in regard to the RFP documents</li> <li>▪ to identify any parts of the RFP documents that need updating to better reflect what is required</li> <li>▪ to identify any gaps in the RFP documents</li> </ul> <p>The overall objective of these meetings is to provide suppliers with the best RFP documents we can.</p>	<p><b>3:00 pm</b>  <b>Wednesday,</b>  <b>18 May 2022</b></p>
Update and release the formal RFP	
Respondents respond to the RFP	
<p>RFP Evaluation:</p> <ul style="list-style-type: none"> <li>▪ review the written RFP responses</li> <li>▪ conduct a 1 – 1.5 hour Teams call/workshop with each of the shortlisted respondents to cover the verbal answers</li> <li>▪ evaluate the RFP responses to establish the preferred respondent to progress through to the contract set up phase</li> </ul>	<p><b>Monday,</b>  <b>13 June 2022</b></p>
<p>Contract set up. SWDC will enter into contract establishment with the preferred respondent.</p> <p>In the event that the parties cannot agree the terms of the contract or SWDC does not approve the contract, SWDC reserves the right to enter into discussions with a third party or abandon the process.</p>	

*Continued on next page*

1. Introduction, Continued

Evaluation Team	Person	Skills
	[Redacted]	▪ key stakeholder
	[Redacted]	▪ key stakeholder
	F [Redacted] cy	▪ evaluation team leader ▪ procurement specialist ▪ facilitator



## 2. Description of Services in Scope

---

### Services

The services required by this contract include:

- contract set up:
    - agree any health and safety plan required with SWDC
    - agree a relationship management plan with SWDC including meetings and reporting requirements through the project
    - agree key performance indicators (KPI)
    - agree final design, pricing model and responsibilities
    - agree the contract for construction
  - delivery of the services set out in the in-scope area
- 

### Services in Scope

The services covered but not limited to include:

- build the pound as per the specifications
  - deliver to site
-

### 3. Submission & Evaluation Process

#### Contact person

General enquiries regarding the ROI / RFP process should be directed only to the Contact Person through the TenderLink portal. Contact person details are set out below for urgent situations.

Proposal submissions should also be through the TenderLink portal.

Direct approaches to SWDC or their staff without the consent of the contact person may result in you being disqualified from the review. Existing working relationships will obviously need to continue through the review and are acceptable.

#### Details

<b>Name</b>	[REDACTED]
<b>Role</b>	[REDACTED]
<b>Mobile</b>	[REDACTED]
<b>Email</b>	[REDACTED]@swdc.govt.nz

Deadlines	Area	Deadline
<b>Questions</b>	Questions should only be submitted via the TenderLink portal and can be submitted up to the deadline. Responses will be made via the TenderLink portal.	<b>5:00 pm Monday 9 May 2022</b>
<b>Submission</b>	Submissions should only be submitted via the TenderLink portal. Any sent directly to the Council may be disqualified.	<b>4:00 pm Friday 13 May 2022</b>
<b>Submission format</b>	Please submit the following via TenderLink: <ul style="list-style-type: none"> <li>▪ soft copy of your response (word or PDF)</li> </ul> <p><b>Please include your company name in the filenames</b></p> Your response must include: <ul style="list-style-type: none"> <li>▪ contact details as set out in Section 6</li> <li>▪ mandatory requirements in Section 7.1</li> <li>▪ non- mandatory requirements in Section 7.2</li> </ul>	

#### Late proposals

Requests for extensions to the closing date are likely to be declined unless extenuating circumstances exist. Late proposals are unlikely to be considered, but may be if circumstances require.

#### Clarification

The evaluation panel may seek clarification regarding your ROI, or request you to provide additional information during the evaluation process.

*Continued on next page*

### 3. Submission & Evaluation Process, Continued

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**For  
information  
only -  
Evaluation  
criteria**

The evaluation criteria in this process are a few mandatory requirements and a number of non-mandatory requirements.

The ROI will only ask questions in regard to the mandatory requirements and one non-mandatory.

All the evaluation criteria are set out in the table below. We have provided the full list in the ROI to give potential respondents a clear idea as to what SWDC will be assessing RFP responses on at that stage of the overall process.

This is so that suppliers can pre-select themselves (i.e. not waste their own time responding to this ROI or the RFP if they can see they would have little chance of success). As we appreciate the significant costs of responding to ROI/RFPs,

As noted above, for this ROI/RFP process in the RFP the only written responses will be for:

- the resources question
- pricing

The rest will be through a Teams call.

---

*Continued on next page*



### 3. Submission & Evaluation Process, Continued

**ROI criteria** The following table outlines the criteria for the ROI evaluation process.

The mandatory criteria are pass/fail criteria and a fail means the supplier will not make the shortlist.

The non-mandatory question will be scored and ranked by the evaluation team and then used to form the shortlist.

We will take a shortlist of suppliers through to the RFP process. This is to make it as attractive as possible for responding suppliers and to reduce unnecessary workload for all parties.

**Mandatory**  
**Non-**  
**Mandatory**

Group	Comments	Ranking
Insurance	▪ required insurance policies	Mandatory
Proven track record	▪ proven track record in building facilities from containers ▪ pounds or MPI Animal Welfare requirements	Scored

*Continued on next page*

### 3. Submission & Evaluation Process, Continued

**RFP criteria** The following criteria will be used for the RFP evaluation. The non-mandatory criteria (proven track record) is repeated as it will ask for more detail in the RFP than requested in the ROI.

#### Non - Mandatory

Group	Comments	Weighting
Proven track record	<ul style="list-style-type: none"> <li>▪ building facilities from containers</li> <li>▪ pounds or MPI Animal Welfare requirements</li> </ul>	35%
Resources	<ul style="list-style-type: none"> <li>▪ account manager</li> <li>▪ team               <ul style="list-style-type: none"> <li>▪ proven track record</li> <li>▪ skills and qualifications</li> </ul> </li> </ul>	30%
Methodology	<ul style="list-style-type: none"> <li>▪ methodology to deliver the services:               <ul style="list-style-type: none"> <li>▪ plan</li> <li>▪ deliver</li> <li>▪ manage quality</li> </ul> </li> </ul>	25%
Value	<ul style="list-style-type: none"> <li>▪ costs</li> <li>▪ value add               <ul style="list-style-type: none"> <li>▪ sustainability</li> <li>▪ community</li> <li>▪ environmental</li> <li>▪ innovation</li> </ul> </li> </ul>	10%

## 4. Terms and Conditions

---

### Acceptance of proposals

- This ROI should not be construed as an agreement to purchase goods or services.
  - SWDC or TIGL are not bound to accept any registrations of interest of those submitted.
  - SWDC or TIGL will be under no obligation to receive further information, whether written or oral, from any respondent.
  - SWDC or TIGL reserve the right to stop this process at any point.
- 

### Confidentiality

At this stage of the process none of the SWDC information relating to this process that has been provided is confidential.

---

### Expenses

You are solely responsible for any expenses incurred in preparing a proposal and for subsequent negotiations, if any. If SWDC elects to reject all ROIs, SWDC or TIGL will not be liable to any claims, whether for:

- costs or damages incurred by you in preparing the ROI
  - loss of anticipated profit in connection with any final contract, or
  - any other matter whatsoever.
- 

### Agreement with terms

By submitting a proposal you agree to all the terms and conditions of this ROI. The ROI received electronically must not be altered in any portion of the document, with the exception of adding the information requested. To do so will invalidate the proposal.

---

### Liability of errors

While SWDC and TIGL have endeavoured to provide an accurate representation of information in this ROI, the information contained in this ROI is supplied solely as a guideline. The information is not guaranteed or warranted to be accurate by SWDC or TIGL, nor is it necessarily comprehensive or exhaustive. Nothing in this ROI is intended to relieve you from forming your own opinions and conclusions with respect to the matters addressed in this ROI.

---



## 5. Response Guidelines

---

**Introduction** This section sets out the specific questions that SWDC require to be answered.

We would encourage you to use this part of the ROI document as a template for your answers (that is, copy and paste the remainder of the document into your response). What works well is leaving the questions in and supplying your answers in the tables provided.

Don't worry about trying to use the formatting that we have used, as we realise that sometimes causes problems with some suppliers.

**Please answer the questions in this ROI and nothing else** (we sometimes get a lot of information that has not been requested at this stage).

---

## 6. Supplier Details

<b>6.1 Organisation details</b>	Please provide details in regard to your organisation into the following table.	
	<b>Organisation name</b>	Boxman Mods Limited
	<b>Legal status</b>	Limited Company

<b>6.2 Contact details</b>	Please provide details in regard to the contact person into the following table.	
	<b>Name</b>	[REDACTED]
	<b>Position within the organisation</b>	Project Manager
	<b>Phone number</b>	[REDACTED]
	<b>Mobile phone number</b>	[REDACTED]
	<b>Email address</b>	[REDACTED]@boxman.co.nz
	<b>Physical Address</b>	22-24 Quarantine Road, Nelson, 7011
	<b>Postal Address</b>	Same as above

<b>6.3 Profile</b>	Please provide a one page profile summary of your company.

Please see attached.

## 7.1 Mandatory Requirements

---

**Introduction** There are mandatory requirements, these are set out below.

---

<b>Question</b> 7.1.1	<b>Insurance:</b> The supplier will have the following insurance: <ul style="list-style-type: none"> <li>▪ Public Liability for a minimum of [REDACTED]</li> </ul> Please confirm that you have this insurance cover and attach evidence.	
<b>Answer</b>	Confirmed	Yes
<b>Attached</b>	Please attach proof of these policies to your response	Confirm attached
<b>Note</b>	If you don't have these insurances at this point you would need to commit to have them in place by the start of the contract.	
	Commit to have in place by the start of the contract	Yes/No

---



## 7.2 Non-Mandatory Requirements

**Introduction** SWDC are keen to work with providers that have a proven track record in delivering a similar purpose-built facility and delivering to site.

<p><b>Question</b> 7.2.1</p>	<p>Keeping in mind the services in scope, please provide examples where you have relevant experience with:</p> <ul style="list-style-type: none"> <li>▫ building facilities from containers</li> <li>▫ pounds or MPI Animal Welfare requirements</li> </ul> <p>Add more rows if required</p>		
Examples	Client	Services provided	Brief Description
<div style="background-color: black; width: 100%; height: 100%;"></div>	<div style="background-color: black; width: 100%; height: 100%;"></div>	<p>We have so far built 6 lots of covid testing labs for multiple pacific islands.</p>	<p>Modified 20FT and 40FT shipping containers into portable covid testing labs. As per the requirements of the world health organisation.</p>
<div style="background-color: black; width: 100%; height: 100%;"></div>	<div style="background-color: black; width: 100%; height: 100%;"></div>		
<div style="background-color: black; width: 100%; height: 100%;"></div>	<div style="background-color: black; width: 100%; height: 100%;"></div>		
<div style="background-color: black; width: 100%; height: 100%;"></div>	<div style="background-color: black; width: 100%; height: 100%;"></div>		
<div style="background-color: black; width: 100%; height: 100%;"></div>	<div style="background-color: black; width: 100%; height: 100%;"></div>		
<div style="background-color: black; width: 100%; height: 100%;"></div>	<div style="background-color: black; width: 100%; height: 100%;"></div>		
<div style="background-color: black; width: 100%; height: 100%;"></div>	<div style="background-color: black; width: 100%; height: 100%;"></div>		
<div style="background-color: black; width: 100%; height: 100%;"></div>	<div style="background-color: black; width: 100%; height: 100%;"></div>		

## Insurance Certificate

Client ID

Agent No

Public & Products Liability

33341

8000017

We, the Insurers, Vero Liability Insurance Limited confirm that Public & Products Liability insurance has been effected on the following basis:

**POLICY NUMBER**

[REDACTED]

**THE INSURED**

Boxman Alpha Limited, Boxman Mods Limited

**BUSINESS DESCRIPTION**

Import, sale, leasing and repair of containers including container modifications and container self storage operation (household goods and furniture only)

**EFFECTIVE DATE**

From 4.00pm 15 December 2021  
To 4.00pm 15 December 2022

**LIMIT OF INDEMNITY**

\$ [REDACTED] any one claim / Products aggregate

**EXCESS**

\$ [REDACTED] each and every claim

**POLICY WORDING**

VL POL AON LEGALEDGE-082017

This certificate is issued as a matter of information only and is subject to the terms and conditions of the issued policy.

Signed for and on behalf of Vero Liability Insurance Limited



Authorised Officer  
DTL



215 December 2021

## Procurement Memorandum

### Certificate of Expediency

#### Background

The Local Government Act 2002 states the purpose of local government is to enable local decision making and action by, and on behalf of communities, and to promote the social, economic, environmental, and cultural wellbeing of communities in the present and for the future.

To achieve its purpose, this requires councils to use public money and to recognise the importance of delivering public value for the goods, services and works South Wairarapa District Council (SWDC) procure.

The SWDC has undertaken a project to design and build an animal compound to act at its "pound." This is a statutory function that needs to be undertaken in accordance with the Animal Control Act 1996. SWDC officers have undertaken due diligence over an extensive period to progress this project to where the build is being undertaken. External environmental factors have an impact on all projects currently being undertaken within New Zealand. This has seen a major limitation in supply of construction materials (both held inside NZ and ability to import raw materials) which has seen extensive upward pressures on the ability to receive and maintain quote costings by suppliers.

#### South Wairarapa District Council Procurement Policy

The SWDC has implemented a procurement policy which provides overarching objectives, principles and outcomes that guide SWDC procurement. Our procurement objectives are:

- 1) Delivering value for money
- 2) Optimising public value
- 3) Building capability
- 4) Supporting local

While also incorporating the *Five Principles of Government Procurement* to provide a best practice framework to deliver the best 'public value' through its procurement and to drive innovation and performance.

The policy provides a guide to Council staff procuring goods and services. It covers how we plan, source, and manage our procurement to ensure we meet our objectives and principles. A procurement plan approach differs depending on the value, risk involved and therefore a guide has been provided

Estimated Whole of life Contract Value	Up to \$5,000	\$5,001 to \$20,000	\$20,000 to \$100,000	Greater than \$100,000
Direct appointment/Sole source negotiation	✓	✗	✗	✗
Preferred supplier or two written quotes	✓	✓	✗	✗



Preferred supplier or three written quotes	✓	✓	✓	x
Open and competitive tender	✓	✓	✓	✓

The policy provides the ability to take a different approach if in an emergency or in the interests of expediency or when there is a single specialist supplier.


Request for exemption – Fencing & Automatic gate

The project has no ability to source “mains” power from the national grid. Therefore, Officers have needed to look at alternative sources of power. The best form has been to design and utilize a Solar system which officers undertook to create a system which allows for the power to be supplied from Solar. As part of a trying to maintain an off-grid methodology we sought interest from suppliers and got two local quotes. However, only one company could provide us with the complete package (which including providing an automatic gate). As the company provided us with a competitive quote for the former location on Johnston Street, Featherston we continued to engage with Erecta fence for quotes relating to the current location in Viles Road. The quote was for a 40 x 50 metre fence line. This supplier understood the requirements of the local area and meet onsite to understand the unique location needs, as well as engaging to fit the construct in an efficient and complaint manner in harmony with the main build.

The supplier has provided a quote for four different version on two separate locations of which the current quote is \$53,661.74 excluding GST but has advised that this price is highly likely to increase given the current climate. Under the procurement guide this price point would require three written quotes or the supplier to be registered with SWDC as a preferred supplier.

Unfortunately, officers have not got three written quotes as would be required by the procurement policy, however, this is a specialised type of work which requires a skill set not “off the shelf” available and it is for the reasons, that the supplier is specialised, has done much of the scoping work to maximise an efficient and effective outcome. In addition, the quoted cost is time sensitive and will only increase that I request the Chief Executive Officer to consider waiving the normal procurement process to expedite the procurement of these goods and services, and report to Finance, Audit and Risk Committee at the following meeting.

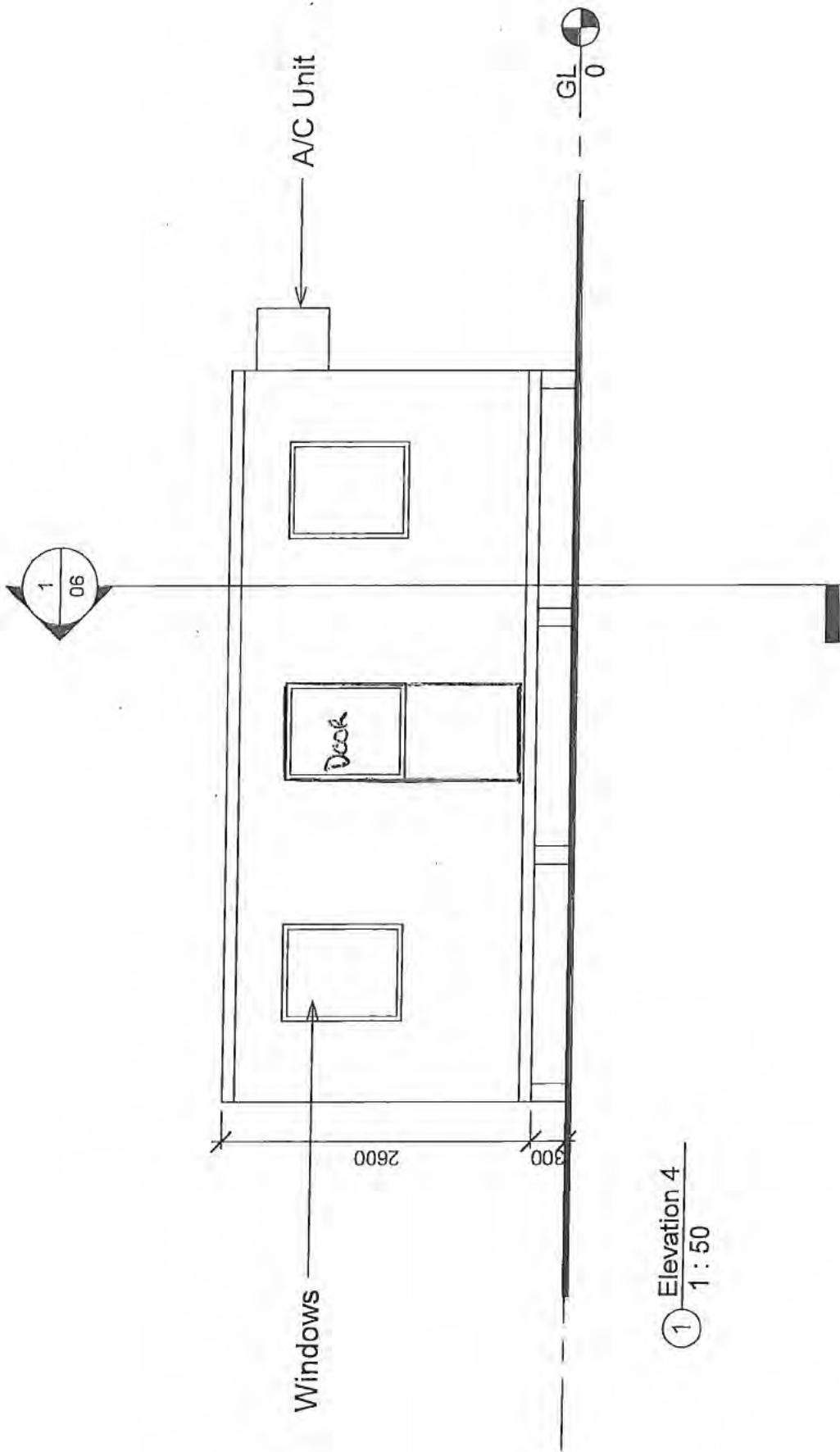
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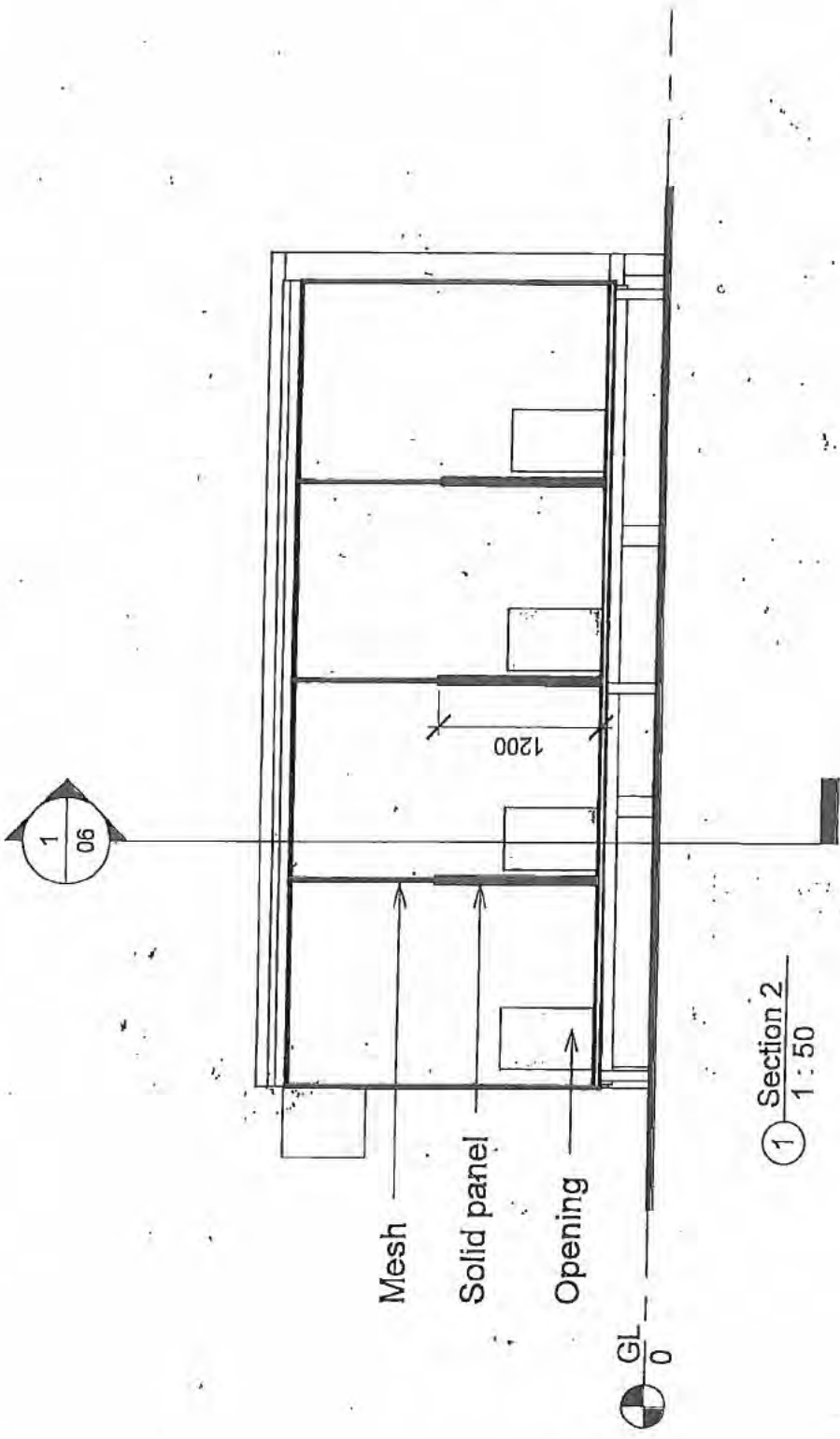
  
Harry Wilson CEO

  
Approve/Disapprove

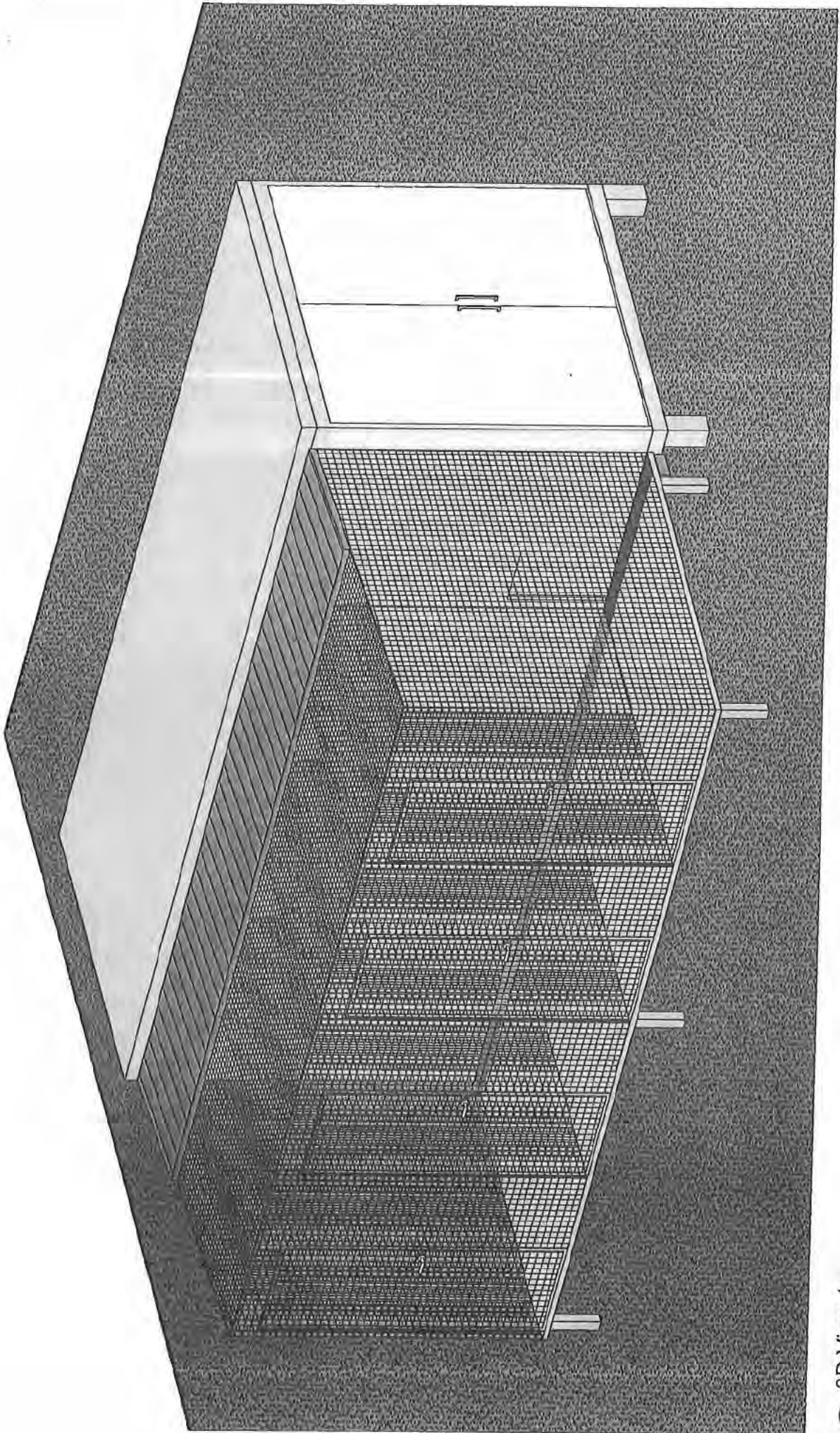
Date: 17/10/2022.

2









① 3D View 1

# Emails



[REDACTED]  
[REDACTED]  
From: [REDACTED]

Sent: Friday, 22 July 2022 9:43 am

To: [REDACTED]

Cc: [REDACTED]

Subject: Russell O'Leary - Group Manager Planning and Environment

Attachments: Re: Progress Claim for SWDC Kennel build scan\_eho2\_2022-07-22-09-15-04.pdf

I am happy to approve

Sent from my iPhone

On 22/07/2022, at 9:18 AM, [REDACTED]!@swdc.govt.nz wrote:

Morning Harry,

Given we have signed the contract am I OK to make payment (see attached). If you could advise ASAP would be appreciated as [REDACTED] wants to lock in now.

Regards

[REDACTED]  
[REDACTED]

South Wairarapa District Council

Cell: [REDACTED]

Please consider the environment before printing this e-Mail.  
This message is intended solely for the recipient and may contain confidential or privileged information. If you have received this e-mail in error please notify the sender and delete.



**From:** [Redacted]  
**Sent:** Wednesday, 12 April 2023 11:25 am  
**To:** [Redacted]  
**Cc:** [Redacted]  
**Subject:** SWDC Pound - Ramp & Stairs project

**Importance:** High  
**Sensitivity:** Confidential

[Redacted]


I will accept your quote for the above mentioned on the following terms & conditions.

1. Total price is \$ [Redacted] including GST.
2. Payment schedule will be on receipt of invoices from R J Marine Limited (please send at least 3 days before payment date)
  - a. 1<sup>st</sup> payment 50% on 20<sup>th</sup> of April 2023
  - b. 2<sup>nd</sup> Payment 50% (final) on 5<sup>th</sup> May 2023
3. Timeframe
  - a. Start 20<sup>th</sup> April 2023
  - b. Completion no later than 28<sup>th</sup> April 2023 (unless unforeseen circumstances and agreement reached between parties)

Please read and reply confirming your acceptance or decline.

Regards

[Redacted]  
 [Redacted]  
 [Redacted]

 **SOUTH WAIRARAPA DISTRICT COUNCIL**  
*Kōwhiri Whakarara*  
 South Wairarapa District Council  
 PO Box 6 Martinborough 5741  
 19 Kitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)



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 This message is intended solely for the recipient and may contain confidential or privileged information. If you have received this e-mail in error please notify the sender and delete.

3

From: [REDACTED]  
Sent: Tuesday, 9 August 2022 5:45 pm  
To: [REDACTED]  
Subject: Re: 40 foot container and transport PO # [REDACTED]

I am happy to approve

Sent from my iPhone

On 9/08/2022, at 5:34 PM, [REDACTED] <[REDACTED]@govt.nz> wrote:

Evening Harry,

I have just spoken with [REDACTED] from 1 Geo who needs to push go on 40 foot container and has requested \$28,000 payment (i.e. \$[REDACTED] for build plus [REDACTED] transport). Can I get approval.

- Cheers

[REDACTED]  
[REDACTED]  
South Wairarapa District Council  
Cell: [REDACTED]



**SOUTH WAIRARAPA  
DISTRICT COUNCIL**  
*Kia Kōwhiri Te Taiao*

South Wairarapa District Council  
06 306 9611 x 864  
PO Box 6 Martinborough 5741  
19 Klitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)

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[Redacted]

**From:** [Redacted]  
**Sent:** Thursday, 3 November 2022 4:12 pm  
**To:** Harry Wilson- CEO; Russell O'Leary - Group Manager Planning and Environment  
**Cc:** [Redacted]  
**Subject:** FW: SWDC - Relocatable Dog Kennel - Progress Claim 4  
**Attachments:** Invoice INV-[Redacted].pdf; South Wairapa Relocatable dog Kennel - Progress Claim 4.pdf

Afternoon Gentlemen,

Can I get you to approve this tax invoice, please.

Cheers

[Redacted]

South Wairarapa District Council  
Cell: [Redacted]

Please consider the environment before printing this e-Mail.  
This message is intended solely for the recipient and may contain confidential or privileged information. If you have received this e-mail in error please notify the sender and delete.

**From:** [Redacted] - 1 Geotechnical <[Redacted]@1geotechnical.co.nz>  
**Sent:** Thursday, 3 November 2022 4:09 pm  
**To:** [Redacted] <[Redacted]@swdc.govt.nz>  
**Cc:** [Redacted] 1 Geotechnical <[Redacted]@1geotechnical.co.nz>; Accounts - 1 Geo <accounts@1geo.co.nz>  
**Subject:** SWDC - Relocatable Dog Kennel - Progress Claim 4

Good afternoon [Redacted]

Please find attached the progress claim 4 for works completed to date in reference to the dog kennels project for SWDC.

Regards

[Redacted]

1GEO  
1 CONSTRUCTOR

Quantity Surveyor / Contracts

[Redacted]





Pope and Grey

ACCESS ENTRANCE

Tree removal (dropping trees x 5)

Remove stumps

Excavation and Base course

DRIVEWAY

Excavation and Base course

BUND

Build bund using topsoil from excavation

COMPOUND

Compound Excavation, and Base Course (base course for container area to be 400mm)

Excavation of Lights foundation cages x 4

Installation of lights (at later date)

Trenching for power from 40 Foot Container to 20 Foot Container (and to potential second container)

Trenching for power to Automatic Entry Gate

Trenching for Septic Tank and Pipes

SEPTIC SYSTEM

Provide options and quotes for Septic system. [Low maintenance system]

Provide indicative start date

From: [REDACTED]  
Sent: Tuesday, 23 August 2022 3:25 pm  
To: [REDACTED]  
Subject: FW: Murphy's Line Lessee

FARMER details

[REDACTED]  
[REDACTED]

South Wairarapa District Council

Cell: [REDACTED]

Please consider the environment before printing this e-Mail.  
This message is intended solely for the recipient and may contain confidential or privileged information. If you have received this e-mail in error please notify the sender and delete.

From: [REDACTED] @swdc.govt.nz>  
Sent: Tuesday, 23 August 2022 12:07 pm  
To: [REDACTED] @swdc.govt.nz>  
Subject: Murphies Line Lessee

Hi

Here you go:

[REDACTED]  
[REDACTED]  
[REDACTED]  
[REDACTED] or [REDACTED]  
[REDACTED]  
[REDACTED] - [REDACTED]

[REDACTED] is really really hard to get hold of but is reasonable once you do. You just have to keep trying he won't always return a call. I have emailed him the new location but haven't heard anything. I have started working on a new draft lease for him as his lease expires 30 Sept, but my time is getting taken with [REDACTED], just need 2-3 days of quiet time. I haven't met [REDACTED] as yet.

Regards

[REDACTED]  
[REDACTED]



SOUTH WAIRARAPA DISTRICT COUNCIL  
Kia Reretahi Taitau

[Redacted]

**From:** [Redacted] <[Redacted]@masons.co.nz>  
**Sent:** Tuesday, 12 April 2022 9:44 am  
**To:** [Redacted]  
**Subject:** RE: Emailing: Map of Pound Lay Out and Lighting Towers  
**Attachments:** EST-S3L\_datasheet\_010122\_web.pdf; Cin7\_Quote\_13425\_CCUS521-367\_12\_Apr\_2022\_932\_AM.pdf

Hi [Redacted]

Thanks for your response and update.

The S2L lights are quite popular and 2 were sold last week (we had 4 in stock). I am happy to put aside the remaining two for the pound project until you hear further notice.

We can put in 2x very similar S3L lights - we can give these to you cheaper, quote attached for your reference. This won't affect the lighting levels much (they are 6000Lumens), only the driveway area slightly and will still meet the lighting requirements.

Let me know if you have any questions.  
Kind regards,

[Redacted]  
Estello Sales Support

P: +64 [Redacted]  
M: +64 [Redacted]  
E: [Redacted]@masons.co.nz

www.masonsled.co.nz

2/32 Crooks Road, East Tamaki, Auckland, 2013, New Zealand  
P.O. Box 58873, Botany 2163

-----Original Message-----

**From:** [Redacted]  
**Sent:** Tuesday, 12 April 2022 9:13 AM  
**To:** [Redacted]@masons.co.nz  
**Subject:** RE: Emailing: Map of Pound Lay Out and Lighting Towers

Hi [Redacted]

Thanks for the information.  
I will be in touch as soon as Council gives the go ahead to proceed with the new Pound Facility.

Best Regards

-----Original Message-----

**From:** [Redacted]@masons.co.nz  
**Sent:** Thursday, 7 April 2022 9:30 AM  
**To:** [Redacted]@swdc.govt.nz  
**Subject:** RE: Emailing: Map of Pound Lay Out and Lighting Towers

Good morning [Redacted]



Yes, the 4 lights that have been used in the design are quite bright, they will be sufficient in lighting up the area.

The average lux in of the whole area is 24.2lux.

In the carpark and kennel area the average lux is 30lux.

Let me know if you have any further questions, or feel free to give us a call.

Kind regards,

[REDACTED]  
Estello Sales Support

P: +64 [REDACTED]  
M: +64 [REDACTED]  
E: [REDACTED]@masons.co.nz

www.masonsled.co.nz

2/32 Crooks Road, East Tamaki, Auckland, 2013, New Zealand P.O. Box 58873, Botany 2163

-----Original Message-----

From: [REDACTED]@swdc.govt.nz>  
Sent: Thursday, 7 April 2022 9:16 AM  
To: [REDACTED]@masons.co.nz>  
Subject: RE: Emailing: Map of Pound Lay Out and Lighting Towers

Hi [REDACTED]

In know I made a mistake advising 4 Lighting Towers but my plan had Six Lighting Towers, does your expert think we will only need 4 Towers to light up an area that size ?

.Best Regards

-----Original Message-----

From: [REDACTED]@masons.co.nz>  
Sent: Thursday, 7 April 2022 9:05 am  
To: [REDACTED]@swdc.govt.nz>  
Subject: RE: Emailing: Map of Pound Lay Out and Lighting Towers

Hi [REDACTED]

Please see the design for the Dog Pound for SWDC, datasheets, and quote.

This uses 4 x EST-S2L-7800 4000K T3 at pole height 5.5 meters.

The programme setting you would want to use would be MODE M - this dims until activated by sensor (as per the data sheet).

We have included an additional 10% discount for the lights. There are also optional base covers.

The lights that have been used in this design are just one option, we can make changes and adjustments as required. Any questions, please let me know.

Kind regards,

[REDACTED]  
Estello Sales Support

P: +64 [REDACTED]  
M: +64 [REDACTED]

E: [REDACTED]@masons.co.nz

www.masonsled.co.nz

2/32 Crooks Road, East Tamaki, Auckland, 2013, New Zealand P.O. Box 58873, Botany 2163

-----Original Message-----

From: [REDACTED]@swdc.govt.nz>

Sent: Tuesday, 5 April 2022 1:06 PM

To: [REDACTED]@masons.co.nz>

Subject: Emailing: Map of Pound Lay Out and Lighting Towers

Hi [REDACTED]

This is just our proposal your experts may be able to improve this plan.

Best Regards



60 Meters

40 Meters

60 Meters

40 Meters

Playgrounds

Lighting Towers

6,000Lm  
S3L 5.5m Pole

6,000Lm  
S3L 5.5m Pole

7,800Lm  
S2L 6m Pole

7,800Lm  
S2L 6m Pole

Storage

Channels





[Redacted]

**From:** [Redacted]@masons.co.nz>  
**Sent:** Tuesday, 23 August 2022 11:07 am  
**To:** [Redacted]  
**Subject:** RE: Pound Lighting  
**Attachments:** Map 9.pdf

Hi [Redacted]

Thanks for your time on the phone earlier.

I have attached the PDF layout of the pound site.

The 'X' is where the cages should be mounted, the reason that we have moved them to these positions is because if they were placed in the Yellow Pin positions, light would be wasted towards the back.

The S2L light is a heavier light than the S3L light, so we are manufacturing 6.0m poles that will be better suited for these lights. Note that you will have 2x 5.5m poles at the top (S3L), and 2x 6.0m poles at the bottom towards the kennels (S2L). I will send you through the cage dimensions for these poles once I hear back from our Pole suppliers.

Thanks and all the best for your week ahead.

Kind regards,

[Redacted]  
**Estello Sales Support**

P: +64 [Redacted]  
M: +64 [Redacted]  
E: [Redacted]@masons.co.nz

[www.masonsled.co.nz](http://www.masonsled.co.nz)

2/32 Crooks Road, East Tamaki, Auckland, 2013, New Zealand  
P.O. Box 58873, Botany 2163

**From:** [Redacted]@swdc.govt.nz>  
**Sent:** Monday, 22 August 2022 10:28 AM  
**To:** [Redacted]@masons.co.nz>  
**Subject:** RE: Pound Lighting

All good, my number is - [Redacted]

**Best Regards**

[Redacted]

**PH: 06 306 9611 Ext:** [Redacted]



**SOUTH WAIRARAPA DISTRICT COUNCIL**  
*Kia Kerevaki Tūtāu*

South Wairarapa District Council  
PO Box 6 Martinborough 5741  
19 Kitchener Street Martinborough 5711

[www.swdc.govt.nz](http://www.swdc.govt.nz)

**From:** [REDACTED]@masons.co.nz>  
**Sent:** Monday, 22 August 2022 10:26 am  
**To:** [REDACTED]@swdc.govt.nz>  
**Subject:** RE: Pound Lighting

Sorry, I was reading two emails at once.  
I meant to say [REDACTED]

Kind regards,

[REDACTED]  
*Estello* Sales Support

P: +64 [REDACTED]  
M: +64 [REDACTED]  
E: [REDACTED]@masons.co.nz

[www.masonsled.co.nz](http://www.masonsled.co.nz)

2/32 Crooks Road, East Tamaki, Auckland, 2013, New Zealand  
P.O. Box 58873, Botany 2163

**From:** [REDACTED]  
**Sent:** Monday, 22 August 2022 10:21 AM  
**To:** [REDACTED] <Andrew.McEwan@swdc.govt.nz>  
**Subject:** RE: Pound Lighting

Hi [REDACTED]

Great I will give you a call after 2pm, thanks.

Kind regards,

[REDACTED]  
*Estello* Sales Support

P: +64 9 905 1960  
M: +64 21 748 558  
E: [REDACTED]@masons.co.nz

[www.masonsled.co.nz](http://www.masonsled.co.nz)

2/32 Crooks Road, East Tamaki, Auckland, 2013, New Zealand  
P.O. Box 58873, Botany 2163

**From:** [REDACTED]@swdc.govt.nz>  
**Sent:** Monday, 22 August 2022 10:00 AM  
**To:** [REDACTED]@masons.co.nz>  
**Subject:** RE: Pound Lighting

Hi [REDACTED]

Yep, that is no problem, any time after 2pm this afternoon would suit me fine.

**Best Regards**

[REDACTED]  
[REDACTED]  
**PH: 06 306 9611 Ext:** [REDACTED]



**SOUTH WAIRARAPA  
DISTRICT COUNCIL**  
*Kia Kōwhiri Tūānaki*

South Wairarapa District Council  
PO Box 6 Martinborough 5741  
19 Kitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)

**From:** [REDACTED]@masons.co.nz>  
**Sent:** Monday, 22 August 2022 9:51 am  
**To:** [REDACTED]@swdc.govt.nz>  
**Subject:** RE: Pound Lighting

Hi [REDACTED]

Hope you had a nice weekend.  
May I give you a call today when you are free?

I just need to update you on a situation with 2 of the poles, nothing major!

Kind regards,

[REDACTED]  
**Estello Sales Support**

**P:** +64 [REDACTED]  
**M:** +64 [REDACTED]  
**E:** [REDACTED]@masons.co.nz

[www.masonsled.co.nz](http://www.masonsled.co.nz)

2/32 Crooks Road, East Tamaki, Auckland, 2013, New Zealand  
P.O. Box 58873, Botany 2163

**From:** [REDACTED]@swdc.govt.nz>  
**Sent:** Friday, 19 August 2022 1:14 PM  
**To:** [REDACTED] <[REDACTED]@masons.co.nz>  
**Subject:** FW: Pound Lighting

[REDACTED]  
[REDACTED]  
**PH: 06 306 9611 Ext:** [REDACTED]





**SOUTH WAIRARAPA  
DISTRICT COUNCIL**  
*Kia Kōwhiri i te Taiao*

South Wairarapa District Council  
PO Box 6 Martinborough 5741  
19 Kitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)

**From:** [redacted] <[redacted]@swdc.govt.nz>  
**Sent:** Friday, 19 August 2022 1:11 pm  
**To:** [redacted] <[redacted]@swdc.govt.nz>  
**Subject:** RE: Pound Lighting

H8 [redacted]

Can they please send a tax invoice and address the 'Customer' part to South Wairarapa District Council, not cash sale.  
Also, if they have an accounts email they would like the remittance advice to go to, can they let you know what it is and I will add this to their creditor file.  
The current email we have set up is [sales@masonsled.co.nz](mailto:sales@masonsled.co.nz).

Thanks,

[redacted]

**From:** [redacted] <[redacted]@swdc.govt.nz>  
**Sent:** Friday, 19 August 2022 12:57 pm  
**To:** [redacted] <[redacted]@swdc.govt.nz>  
**Subject:** FW: Pound Lighting

[redacted]  
[redacted]

**PH: 06 306 9611 Ext:** [redacted]



**SOUTH WAIRARAPA  
DISTRICT COUNCIL**  
*Kia Kōwhiri i te Taiao*

South Wairarapa District Council  
PO Box 6 Martinborough 5741  
19 Kitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)

**From:** [redacted] <[redacted]@masons.co.nz>  
**Sent:** Thursday, 18 August 2022 12:50 pm  
**To:** [redacted] <[redacted]@swdc.govt.nz>  
**Cc:** [redacted] <[redacted]@masons.co.nz>  
**Subject:** RE: Pound Lighting

Hi [redacted]

Thank you for this.  
Please find attached Proforma Invoice for payment.

As mentioned, we can hold your product for 3-4 Months until required.

In the meantime, we will send out the cages to you to be set in the ground. Do you need them ASAP?

[REDACTED] will be in touch for delivery details.

Kind regards,

[REDACTED]  
**Estello Sales Support**

P: +64 [REDACTED]  
M: +64 [REDACTED]  
E: [REDACTED]@masons.co.nz

[www.masonsled.co.nz](http://www.masonsled.co.nz)

2/32 Crooks Road, East Tamaki, Auckland, 2013, New Zealand  
P.O. Box 58873, Botany 2163

**From:** [REDACTED]@swdc.govt.nz  
**Sent:** Thursday, 18 August 2022 12:45 PM  
**To:** [REDACTED]@masons.co.nz  
**Subject:** FW: Your scan (Scan to My Email)

[REDACTED]  
[REDACTED]  
**PH: 06 306 9611 Ext:** [REDACTED]



**SOUTH WAIRARAPA  
DISTRICT COUNCIL**  
*Kia Hekeahi Taitau*

South Wairarapa District Council  
PO Box 6 Martinborough 5741  
19 Kitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)

**From:** [REDACTED]@swdc.govt.nz  
**Sent:** Thursday, 18 August 2022 12:26 pm  
**To:** [REDACTED]@swdc.govt.nz  
**Subject:** RE: Your scan (Scan to My Email)

Hi [REDACTED]

This is a quote so we can't pay it, can you please ask them to send an invoice and it needs to be addressed to South Wairarapa District Council.

The invoice will then need to be signed. I can pay it next Thursday if I have it back before then.

Thanks,  
[REDACTED]

**From:** [REDACTED]@swdc.govt.nz  
**Sent:** Thursday, 18 August 2022 11:53 am

To: [REDACTED] <[REDACTED]@swdc.govt.nz>  
Subject: FW: Your scan (Scan to My Email)

Hi [REDACTED]

Can you please organize the payment to Masons Led, I will send you the Order No now as well.

Thanks

[REDACTED]

PH: 06 306 9611 Ext: [REDACTED]



**SOUTH WAIRARAPA  
DISTRICT COUNCIL**  
*Kia Revetahi Yātani*

South Wairarapa District Council  
PO Box 6 Martinborough 5741  
19 Kitchener Street Martinborough 5711  
[www.swdc.govt.nz](http://www.swdc.govt.nz)

From: [REDACTED] <[REDACTED]@swdc.govt.nz>  
Sent: Thursday, 18 August 2022 11:47 am  
To: [REDACTED] <[REDACTED]@swdc.govt.nz>  
Subject: Your scan (Scan to My Email)



# Previous LGOIMAs

14 May 2024

[REDACTED]

Dear [REDACTED]

**Official information Request: Featherston Dog Pound**

I am writing to you in response to your request received 3 May 2024 for information regarding the Featherston dog pound. We have assessed your request under the Local Government Official Information and Meetings Act 1987 (LGOIMA). I have received information to provide the following response:

*1. Who designed it, was it tendered out to local engineers*

The Environmental Services Manager at the time came up with the Pound concept and design; the Lead Regulatory Officer helped with designed and project managing of the Pound.

Apart from the Container build which was tendered out to a Christchurch Company 1GEO, nearly all the other work was tendered out to local businesses.

*2. The Contractors who did the job*

The main contractor for container build was 1Geo Limited.

Other contractors:

- RJM Marine - Dog Runs
- Lumina - Solar
- Coyote Electrical - Solar installation
- Tec Planet - CCTV Security
- Cotter Stevens - Plumbing and Electrical
- Pope and Gray – Earthworks and Septic
- Electra Fence - Compound Fencing ang Gates
- Tank Guy - 10000 Litre Water Tank and Pump

*3. Was it tendered out to local Contractors*

Yes, Most of the work was tendered out to local contractors.

*4. Who said it would cost \$450,000.*

Please refer to the *South Wairarapa Dog Pound Report* (included in meeting agenda pack, page 155-59) which is publicly available on our website: <https://swdc.govt.nz/meeting/council-meeting-10-august-2022/>

5. *A list of all the people who authorised it, all Committee members*

Please refer to the minutes which are publicly available on our website:

<https://swdc.govt.nz/meeting/council-meeting-10-august-2022/>

6. *Where were all funds taken from*

A loan for \$450,000 was taken out to fund the project. Ongoing depreciation and interest costs are funded from the operating budget of the Animal Control cost centre, which is in turn funded from income from dog registrations, and rates.

7. *All clear invoices pertaining to the Building and Designing of Dog Kennels and Structures*

Your request for invoices is refused under sections 7(2)(b)(ii) - the withholding of the information is necessary to protect information where the making available of the information would be likely unreasonably to prejudice the commercial position of the person who supplied or who is the subject of the information and 7(2)(h) the withholding of the information is necessary to enable any local authority holding the information to carry out, without prejudice or disadvantage, commercial activities.

However, we can provide the following breakdown and total cost as per the table attached below. We also attach a transaction summary by supplier and a full transaction listing with supplier names and descriptions.

<b>Summary</b>	
Fit out	150,747
Electrical/Solar	66,905
Security	16,817
Water/sewer connections	29,405
Fencing	53,766
Other	140,464
<b>Total:</b>	<b>458,103</b>

Please note that it is our policy to proactively release our responses to official information requests where possible. If this request is selected it will be published at <https://swdc.govt.nz/lgoima-proactive-release/>, with your personal information removed.

You have a right to request a review by the Ombudsman on this response. Further information about this process can be found on <https://www.ombudsman.parliament.nz/what-ombudsman-can-help/complaints-about-government-agencies/how-make-complaint> or email [info@ombudsman.parliament.nz](mailto:info@ombudsman.parliament.nz)

Kind Regards



Nicki Ansell

Acting Manager, Stakeholder Relationships



Supplier	Total excl GST
1 Geo Ltd	\$211,675.86
Chainsaws & Mowers (2006) Limited	\$182.61
Cotter and Stevens Ltd	\$4,721.91
Coyote Electrical LTD	\$17,250.00
Lift Tech Transport	\$350.00
Lumina Ltd	\$43,010.54
MasonsLED Ltd	\$19,326.00
Mitre 10 Martinborough	\$306.27
New Zealand Farm Source	\$632.09
NZ Safety Blackwoods	\$75.79
Pope and Gray Contractors Ltd	\$58,969.88
R J Marine Ltd	\$27,646.50
Rubber Bits & Industrial Conveyors	\$2,045.00
Tech Planet	\$15,336.00
The Tank Guy	\$3,113.04
TOPMAQ	\$328.17
Wairarapa Fencing Solutions T/A Erecta Fence	\$53,133.74
<b>Grand Total</b>	<b>\$458,103.40</b>

Month	Value	Creditor	Details
Jul 2022	56,939.46	1 Geo Ltd	AP 1 Geo Ltd Dog Kennels - Progress Claim 1
Aug 2022	28,000.00	1 Geo Ltd	AP 1 Geo Ltd Dog Pound - 40Ft Container
Aug 2022	29,071.00	Lumina Ltd	AP Lumina Ltd Deposit For Solar System For Dog Pound
Aug 2022	12,505.10	R J Marine Ltd	AP R J Marine Ltd Dog Pound Construction Of Dog Runs - De
Sep 2022	37,255.08	1 Geo Ltd	AP 1 Geo Ltd Progress Claim 3
Oct 2022	75.79	NZ Safety Blackwoods	NZ Safety Blackwoods Safety Signs (RM)
Oct 2022	33,232.07	1 Geo Ltd	AP 1 Geo Ltd Progress Claim 3 - Dog Pound
Oct 2022	7,147.00	R J Marine Ltd	AP R J Marine Ltd Dog Pound - Aluminum Enclosure
Oct 2022	3,113.04	The Tank Guy	AP The Tank Guy 1x 10,000 Water Tank, 1x Water Jet Pump
Oct 2022	328.17	TOPMAQ	AP TOPMAQ Correct GL - Platinum Solar Powered Fen Dog Pound
Nov 2022	23,320.69	1 Geo Ltd	AP 1 Geo Ltd Claim 4 - Dog Pound
Nov 2022	26,566.87	Wairarapa Fencing Solutions T/A Erecta Fence	AP Wairarapa Fenci Dog Pound Fencing Requirements 50% Depos
Feb 2023	12,459.00	Lumina Ltd	AP Lumina Ltd 30% Final Payment For Solar/Electrical S
Feb 2023	19,326.00	MasonsLED Ltd	AP MasonsLED Ltd Lighting & Stands SWDC Pound
Feb 2023	632.09	New Zealand Farm Source	AP RD1 Ltd SWDC Pound Entrance 2x Gates/ Hinges/ Po
Feb 2023	16,200.00	Pope and Gray Contractors Ltd	AP Pope & Gray Con Fstn Dog Pound - Driveway & Bund
Feb 2023	20,292.50	Pope and Gray Contractors Ltd	AP Pope & Gray Con Fstn Dog Pound - Entrance Access & Compo
Feb 2023	8,436.00	Tech Planet	AP Tech Planet Dog Pound CCTV 1st payment 50%
Mar 2023	9,750.00	Coyote Electrical LTD	AP Coyote Electric Correct GL- Design & Project Mgmt For CC and Solar Off Grid System
Mar 2023	7,500.00	Coyote Electrical LTD	AP Coyote Electric Install Of Hardware For Lighting Connection Of Solar To Containers
Mar 2023	1,480.54	Lumina Ltd	AP Lumina Ltd Hardware For CCTV/ IT System
Mar 2023	2,500.00	R J Marine Ltd	AP R J Marine Ltd Additional Foundation Work For Dog Runs
Mar 2023	325.00	R J Marine Ltd	AP R J Marine Ltd Dog Run Delivery To Site
Mar 2023	2,045.00	Rubber Bits & Industrial Conveyors	AP Rubber Bits & I Rubber Matting Dog Pound
Mar 2023	26,566.87	Wairarapa Fencing Solutions T/A Erecta Fence	AP Wairarapa Fenci SWDC Pound Fencing - Final Payment
Apr 2023	32,928.56	1 Geo Ltd	AP 1 Geo Ltd 100020/01 Final payment for Pound build container 20ft
Apr 2023	41.49	Cotter and Stevens Ltd	AP Cotter & Steven 100028/01 Electrical parts for main gate POUND
Apr 2023	2,585.97	Cotter and Stevens Ltd	AP Cotter & Steven Install pump & water tank
Apr 2023	195.22	Mitre 10 Martinborough	AP Mitre 10 Downpipes, connectors and glue
Apr 2023	2,584.70	R J Marine Ltd	AP R J Marine Ltd 100059/01 1st payment 50% Build Ramp and stairs for Pou
Apr 2023	6,900.00	Tech Planet	AP Tech Planet CCTV Hardware, Cameras & Starlink sub
May 2023	182.61	Chainsaws & Mowers (2006) Limited	AP Chainsaw & Mowe 100169/01 cherry picker
May 2023	350.00	Lift Tech Transport	AP Valley Water an 100055/01 Water Supply for New SWDC Pound
May 2023	111.05	Mitre 10 Martinborough	AP Mitre 10 100114/01 Plumbing items for dog run drainage system
May 2023	2,584.70	R J Marine Ltd	AP R J Marine Ltd 100059/02 Build Ramp & stairs for pound (payments in 2 p
Jun 2023	393.51	Cotter and Stevens Ltd	AP Cotter & Steven 100115/01 Electrical work for main gate / Heat pump POU
Jun 2023	822.50	Cotter and Stevens Ltd	AP Cotter & Steven 100170/01 electrical work (heat pump ,power ,point gate
Jun 2023	878.44	Cotter and Stevens Ltd	AP Cotter & Steven 100643/01 wire in septic
Jun 2023	18,741.50	Pope and Gray Contractors Ltd	AP Pope & Gray Con Dog Pound - Evacuation Of Lights Foundation Cages, Trenching For Septic T
Jul 2023	3,735.88	Pope and Gray Contractors Ltd	AP Pope & Gray Con 101111/01 Dog pound for septic design and electrical wo
<b>Total</b>	<b>458,103.40</b>		

1 December 2023

[REDACTED]

Dear [REDACTED],

**Official information Request: Dog Pound**

I am writing to you in response to your request received 9 October 2023 and clarified on 30 October for information relating to the Dog Pound. We have assessed your request under the Local Government Official Information and Meetings Act 1987 (LGOIMA). I have received information to provide the following response:

THE FIT OUT \$150,7.47

*how much did various items cost?*

This was negotiated with main supplier. Various materials and labour costs. [Withholding the breakdown of individual costs due to commercial position under section 2(b)(ii) of the LGOIMA].

ELECTRICAL: All the same questions as above.

The \$66,905 of electrical work included the following:

Installation and connection to; septic, alarm, water pumps, front gates and cabling and connection for CCTV, solar system, and lighting (interior for containers). This includes materials and labour.

SECURITY: all the above questions.

The total cost of work relating to security was \$29,569 and included the following:

Purchase of cameras, hardware, cabinets, connection and installation, internet connectivity on remote basis.

WATER & SEWER CONNECTIONS (not connected to town/mains supply)

Water – purchase of tank, installation, purchase of pump and connection, labour for initial water connections to dog runs.

Sewer – septic design for system, septic materials, trenching, installation, weeping field preparation.

FENCING: how much fencing was done and with what materials?

232 metres of 1.8m high with rows of barbed wire, chain link, metal pipe.



*OTHER: (\$140.103) Please explain what all the other costs for this amount of money.*

Dog run ramp, built stairs, pile/piling, full driveway build, landscaping preparation (removal soil/trees), compound (40x50m) preparation various materials, compacting etc, solar lights (materials and installation), engineering designs, certification, driveway design, materials, and consent.

*Did you buy the land for these kennels to be built here?*

Land is Council owned and Animal Control leased.

Please note that it is our policy to proactively release our responses to official information requests where possible. If the response is published on our Proactive LGOIMA webpage, all of your personal information will be removed.

You have a right to request a review by the Ombudsman on this response. Further information about this process can be found on <https://www.ombudsman.parliament.nz/what-ombudsman-can-help/complaints-about-government-agencies/how-make-complaint> or email [info@ombudsman.parliament.nz](mailto:info@ombudsman.parliament.nz)

Kind Regards



Amanda Bradley  
General Manager, Democracy and Engagement Team

5 October 2023

[REDACTED]

Dear [REDACTED],

### Official information Request: Dog Pound

I am writing to you in response to your request received 18 September 2023 for information relating to the Dog Pound. We have assessed your request under the Local Government Official Information and Meetings Act 1987 (LGOIMA). I have received information to provide the following response.

1. How many quotations were requested and received for the construction

This project was not under a sole supplier. We used multiple suppliers for specific parts of the project. The project followed the South Wairarapa District Council Procurement Policy and Guide. We went to the open market for the main construction through Tenderlink platform.

2. Which firm won the tender.

The main contractor for container build was 1Geo Limited.

3. What was the total final cost, and how is that cost broken down into broad categories such as, construction costs, fit out costs, fencing/security costs, connection to utility costs, etc

Summary	
Fit out	150,747
Electrical/Solar	66,905
Security	16,817
Water/sewer connections	29,405
Fencing	53,766
Other	140,464
<b>Total:</b>	<b>458,103</b>

4. What are the ongoing annual costs of the pound

It is noted that ongoing costs include dog food, blankets, feeding bowls, cleaning solvents, water/internet connection, mowing and general maintenance.

As we are in the first year of operating the dog pound, Council Officers have not yet assessed or produced a full report regarding the ongoing annual costs.

This request is refused under section 17(f) of the LGOIMA, on the basis that the information cannot be made without substantial collation or research.

5. Since it has been opened how many dogs each week has it housed.

I can inform you that since May 2023, 11 dogs have been impounded on the following dates:

7/9/2023

5/9/2023

4/8/2023

3/8/2023

8/7/2023

30/6/2023

26/6/2023 x 2

7/6/2023 x 2

17/5/2023

You have a right to request a review by the Ombudsman on this response. Further information about this process can be found on <https://www.ombudsman.parliament.nz/what-ombudsman-can-help/complaints-about-government-agencies/how-make-complaint> or email [info@ombudsman.parliament.nz](mailto:info@ombudsman.parliament.nz)

Kind Regards



Amanda Bradley  
General Manager, Policy and Governance Team